



**Village of North Palm Beach
Planning, Zoning and Adjustment Board
AGENDA
Tuesday, January 2, 2024 at 6:30 pm
Village Hall Council Chambers**

1. Roll Call

Donald Solodar, Chair
Cory Cross, Vice-Chair
Thomas Hogarth, Member
Jonathan Haigh, Member
Kathryn DeWitt, Member
Scott Hicks, Member
Nathan Kennedy, Member
Village Staff, Attorney, and Councilmember

2. Deletions, Additions or Modifications to the Agenda

3. Public Comment for Non-Agenda Items

4. Approval of Minutes

a. November 14, 2023

b. December 5, 2023

5. Declaration of Ex-parte Communications

6. Quasi-judicial Matters / Public Hearing

The Village Attorney is to swear in all persons speaking.

a. Site Plan and Appearance Review

i. New Business

1. [613 Northlake Blvd - ABCDE Animal Clinic \(Monument Sign\)](#)

Application by Richard Walker, Bergen Signs, on behalf of the property owner, for Site Plan and Appearance approval for a new ground monument sign for the building located at 613 Northlake Blvd.

2. [635 U.S. Highway 1 - Desano Pizzeria \(North Building Wall Sign\)](#)

Application by the property owner, ASL NPB, LLC, and the lessee, Desano – North Palm Beach, LLC, for a major modification with a waiver to an existing Commercial Planned Unit Development (PUD) to install an 8.7 square foot wall sign on the north façade at 635 U.S. Highway One which is not permitted by the Zoning Code but can be considered as a waiver to a PUD.

3. [529 Northlake Blvd. - Sushi Jo & Bistro](#)

Request by Coteleur & Hearing on behalf of the property owner, Northlake 529 LLC, for Site Plan and Appearance approval with two (2) waivers for expansion of an existing building by 1,34 square feet, resulting in a total restaurant area of 3,048 square including landscaping, parking lot and exterior modifications. The waivers are: 1) to reduce the drive aisle from the required 24' for two-way traffic to 20' and 2) to reduce the required parking spaces from 26 required parking spaces to 24 parking spaces.

4. [Re-adoption of Massing provisions](#)

Request by Village Staff to amend the Zoning Code to readopt the single-family massing provisions adopted by the Village Council in 2022 with some modifications.

7. Commission Member Comments

8. Staff Updates

9. Adjournment

All members of the public are invited to appear at the public hearing, which may be continued from time to time, and be heard with respect to this matter.

If a person decides to appeal any decision made with respect to any matter considered at the subject meeting, he or she will need to ensure that a verbatim record of the proceedings is made, which shall include the testimony and evidence upon which the appeal is to be based (F.S. 286.0105). In accordance with the Americans with Disabilities Act, any person who may require special accommodation to participate in this meeting should contact the Village Clerk's Office at 841-3355 at least 72 hours prior to the meeting date.

This agenda represents the tentative agenda for the scheduled meeting of the Planning Commission. Due to the nature of governmental duties and responsibilities, the Planning Commission reserves the right to make additions to, or deletions from, the items contained in this agenda.



**THE VILLAGE OF NORTH PALM BEACH
PLANNING, ZONING AND ADJUSTMENT BOARD
REGULAR MEETING MINUTES
TUESDAY, NOVEMBER 14, 2023 at 6:30 PM**

Present

Cory Cross, Vice Chair
Kathryn DeWitt, Member
Jonathan Haigh, Member
Scott Hicks, Member
Thomas Hogarth, Member

Absent

Donald Solodar, Chair
Nathan Kennedy, Member

Village Staff

Dave Norris, Mayor
Len Rubin, Village Attorney
Caryn Gardner-Young, Community Development Director

1. CALL TO ORDER

Vice Chair Cross called the meeting to order at 6:32 p.m.

a. ROLL CALL

Roll was called, and it was determined a quorum was present.

2. DELETIONS, ADDITIONS, OR MODIFICATIONS TO THE AGENDA

There were no modifications to the agenda.

3. PUBLIC COMMENT FOR NON-AGENDA ITEMS

There were no public comments.

4. APPROVAL OF MINUTES

a. September 12, 2023 Minutes

Mr. Hogarth motioned to approve the September 1, 2023 meeting minutes, seconded by Mr. Hick. The **motion passed** unanimously (5-0).

b. October 3, 2023 Minutes

Ms. DeWitt motioned to approve the October 3, 2023 meeting minutes. Seconded by Mr. Hogarth. The **motion passed** unanimously (5-0).

5. DECLARATION OF EX-PARTE COMMUNICATIONS

No ex-parte communications were reported or disclosed.

6. QUASI-JUDICIAL MATTERS/PUBLIC HEARING

Attorney Rubin swore in those wishing to provide testimony.

a. SITE PLAN AND APPEARANCE REVIEW

i. OLD BUSINESS

1. 200 YACHT CLUB (MIXED-USE DEVELOPMENT)

Lentzy Jean-Louis from Urban Design Studio, agent for the property owner Robbins NPB LLC, presented a request to approve a Site Plan and Appearance application for a mixed-used development including a 147-unit residential building, three (3) live-work units and 1,978 square feet of commercial space with waivers.

During the Planning Commission meeting held on October 3, 2023, a motion was made to continue the application to approve the waivers as requested, subject to the following conditions:

- A complete package with all current elevations and plans must be submitted to the Village;
- Revise the first-floor plan to include three (3) live-work units facing US Hwy 1 in Building B;
- Eliminate condition Y – food trucks; and
- Restrict leases to one (1) year and not allow subleasing.

The applicant stated that their current plan is consistent with the established style and design presented to the board and residents during the approval process.

They considered the feedback and the opinions of the board, Village staff, and residents regarding the architectural elevations and landscaping; they made the following changes:

- Along the property line of 200 Yacht Club right of way, they have added planting along the sidewalk;
- Committed to a 4-foot separation between the property line and landscape designated for the sidewalk;
- Enhanced landscaping along the east side of the property line; and
- Increased the transparency to all building elevations.

The applicant agreed with the Village Staff report and accepted all the proposed conditions.

Vice Chair Cross opened the item to public comments

Chris Ryder, 118 Dory Road South, expressed his opinion about the master plan availability online, which does not agree with the project, highlighted that this is the first project under the new C-MU regulation with lower transparency than the code provided. If allowed, it will not leave a good precedent for future applicants.

Carolyn Liss, 52 Yacht Club Drive, agreed with Chris Ryder.

Deborah Cross, 2560 Pepperwood Circle South, shared her concerns about mixed-use development not being appropriately mixed-use and insufficient

business and public draw. Regarding affordable housing, she felt this project needed to reflect the Village's vision.

Vice Chair Cross closed the public comments

Ms. Gardner-Young clarified that for workforce housing, the applicant needs to indicate whether it will be owned or rented before the first building permit and certificate of occupancy are approved. While the Village code does not designate regarding this matter, the Village Staff prefers ownership.

Mr. Tuma responded to the public comments and stated that Urban Design Studio has been in business since 1977, and he has a qualified team of landscape architects.

Mr. Rennebaum is a registered professional engineer like Jamie Perish, who signed and sealed the plans submitted to the Village.

Members comments

Mr. Hogarth appreciated the applicant making the changes requested. He inquired whether the live-work space signage had been approved. Ms. Gardner-Young responded that the applicant must return to the Planning, Zoning and Adjustment Board for signage. She added that the live-work entrances will be based on signage and have a public entrance from U.S. Highway 1; an accessible ramp can be installed. Mr. Hogarth concluded that he is satisfied with the project regarding transparency and mixed-use.

Mr. Haigh appreciated the landscape additions, the applicant's responses to the Planning Commission, and public feedback. He thinks offering affordable housing for young professionals is a good way to bring people into the Village.

Ms. DeWitt thought the resident's and board's feedback are reflected on the changes the applicant made to the project, and it is in a better place than when the project started. She inquired for clarity on live-work unit parking spaces. Michele Cuetara with Urban Design Studio responded that the math was updated in the revised plan; the parking of the three (3) live-work units is calculated based on square footage. Ms. DeWitt also inquired about restaurant parking; Mr. Tuma responded that 20 parallel parking spaces have been assigned and will be labeled. She also suggested to do something other than sod.

Mr. Hicks would like to see more of a mixed-use project in the future and sought clarification in regards to the live-work locations. Mr. Tuma showed their location on the revised plan.

Mr. Cross liked the project and highlighted the technicality and the work the architect showed on the project. He would have wanted to see more commercial spaces on the project.

Jonathan Haigh motioned to approve with the conditions noted on the staff report A through JJ deleting E and I, as well as the inclusion of the revised

plans of the project, seconded by Kathryn DeWitt. The **motion passed** unanimously (5-0).

2. 730 U.S. HIGHWAY 1 - LA BAMBA (SIGNAGE AND BUILDING COLOR)

Ms. Gardner-Young presented the current look of the exterior building color and new monument sign, highlighting that changes were made without the Village's approval, nor were building permits submitted. The applicant is seeking approval after changes have been made.

She noted there is also a new wall sign located on the south side facing U.S. Highway 1.

The staff recommendation is to deny the application as presented since it does not meet the Village's code requirements and appearance plans. The use of bright and brilliant color are not hamonious with the building. The previously approved color by the Planning Commission was a more subtle tone.

The owner, JR Molina, announced they celebrated their 15th anniversary at the North Palm Beach location and wanted the restaurant to have a modern look by improving their logo; he also apologized for not submitting permit applications before the changes.

A representative from the sign company M Aguablanca, LLC, Jack Jurvey, further explained that to comply with the new code, the monument would have to be smaller and move back into the property. Instead, they decided to do a face change to the existing monument. He also noted that the accent color percentage is not defined in the code, which is subjective.

Vice Chair Cross opened the item to public comments

Deborah Cross, 2560 Pepperwood Circle South, mentioned that bright green color is not in the code and should not approved, permits are needed, and agrees with denying the petition.

Bill Stevens, 52 Yacht Club Drive, is a frequent customer and loves the monument sign. He inquired about the criteria for the brightness percentage allowed. However, the board clarified that it is up to their discretion.

Vice Chair Cross closed the public comments

Member comments

Mr. Hicks expresses his sympathy for the applicant and believes the sign should have bright colors since it is a Spanish/Mexican restaurant. However, it needs to meet the code.

Ms. DeWitt suggested the setback criteria could be visited, and the restriction on brightness is intended for vehicle safety. She agrees with the staff's recommendations.

Mr. Haigh liked the color but recognizes it does not meet the code.

Mr. Hogarth mentioned another business was lime and had to remove it, and he suggested the color could be used as an accent. He acknowledged that the sign company should have known to apply for permits as part of the process.

Mr. Cross liked the green and agreed it should be used as an accent color on the building. He agreed with the round logo, but the background is inconsistent with the code.

The applicant submitted a revised rendering of the sign.

Jonathan Haigh motioned to approve the sign submitted at the meeting with the white background, and Kathryn DeWitt seconded the motion. The **motion passed** unanimously (5-0).

Jonathan Haigh motioned to table to the next meeting a different building scheme color to be less bright, seconded by Scott Hicks. The **motion passed** unanimously (5-0).

ii. NEW BUSINESS

1. 124 SHORE COURT – HAMPTON HOUSE CONDO (BUILDING COLOR SCHEME)

The applicant, Philip Zammit, president of the Hampton House Condominium Association, submitted color schemes. He is seeking approval to paint the building.

Ms. Gardner-Young's presentation displayed the colors proposed and recommended approval with conditions.

All Planning, Zoning and Adjustment Board members agree with the staff report.

Mr. Hogarth motioned to approve, seconded by Ms. DeWitt. The **motion passed** unanimously (5-0).

7. BOARD MEMBER COMMENTS

Mr. Hogarth researched the code of ordinances and noticed changes to the residential code. Len Rubin mentioned that the legislature passed a new bill that removed Palm Beach County from SB250; now the code can be readopted.

Mr. Cross inquired about protocol if the Chair and Vice Chair can not attend the meeting. Len Rubin answered there was no protocol in place. Mr. Cross suggested the Village staff develop one.

8. STAFF UPDATES

The next meeting will be on December 5, 2023.

9. ADJOURNMENT

With no further business before the Board, Mr. Cross adjourned the meeting at 7:53 p.m.



**THE VILLAGE OF NORTH PALM BEACH
PLANNING, ZONING AND ADJUSTMENT BOARD
REGULAR MEETING MINUTES
TUESDAY, NOVEMBER 14, 2023 at 6:30 PM**

Present

Cory Cross, Vice Chair
Kathryn DeWitt, Member
Nathan Kennedy, Member
Scott Hicks, Member
Thomas Hogarth, Member

Absent

Donald Solodar, Chair
Jonathan Haigh, Member

Village Staff

Len Rubin, Village Attorney
Caryn Gardner-Young, Community Development Director
Kacy Morrone, Office Manager

1. CALL TO ORDER

Vice Chair Cross called the meeting to order at 6:33 p.m.

a. ROLL CALL

Roll was called, and it was determined a quorum was present.

2. DELETIONS, ADDITIONS, OR MODIFICATIONS TO THE AGENDA

There were no modifications to the agenda.

3. PUBLIC COMMENT FOR NON-AGENDA ITEMS

There were no public comments.

4. APPROVAL OF MINUTES

There were no minutes to approve.

5. DECLARATION OF EX-PARTE COMMUNICATIONS

No ex-parte communications were reported or disclosed.

6. QUASI-JUDICIAL MATTERS/PUBLIC HEARING

The Village Attorney Rubin swore in those wishing to provide testimony.

a. SITE PLAN AND APPEARANCE REVIEW

i. OLD BUSINESS

1. 730 U.S. HIGHWAY 1 (BUILDING COLOR)

The applicant requested to table this matter to the January 2024 meeting.

ii. NEW BUSINESS

1. 613 NORTHLAKE BLVD (BUILDING WALL SIGN)

John Boyd from Bergen Signs presented a wall sign proposal on behalf of the property owner. He remarked that all specifications meet the code.

Member comments

Mr. Kennedy liked the sign and had no further comments.

Mr. Haigh inquired if the building was single or multi-tenant. Ms. Gardner-Young responded that it used to be a multi-tenant, but it was converted to a single tenant occupied by ABDCE Animal Hospital.

Ms. DeWitt liked the sign and had no further comments.

Mr. Hicks liked the nighttime lighting and the sign overall, and he had no further comments.

Ms. Gardner-Young shared the staff report with recommendations for approval.

Mr. Hogarth motioned to approve the petition as presented, seconded by Mr. Hicks. The **motion passed** unanimously (5-0).

7. BOARD MEMBER COMMENTS

Mr. DeWitt inquired if the other board meetings and agendas are broadcast live and posted. Mr. Rubin responded that the other boards or committees are not published live, and Agendas with Minutes are posted on the Village's website.

8. STAFF UPDATES

The proposed joint meeting date with the Town of Lake Park is January 8, 2024, at 6:00 p.m. Their Planning and Zoning Board has a quorum for this date. Ms. Gardner-Young explained the purpose of the joint meeting would be to discuss the Village Place Master Plan and to offer recommendations to the Village Council.

Mr. Cross recommended proposing another date to the Town of Lake Park, such as January 16 and January 22, 2024, since Board member Ms. DeWitt stated she could not attend the January 8, 2024 meeting. Also, to receive all the documentation of the Village Place with enough anticipation to review.

Ms. Gardner-Young reminded the Planning Commission that some of the members' terms are coming up in April 2024 and to contact the Village Clerk's office for more information.

9. ADJOURNMENT

With no further business before the Board, Mr. Cross adjourned the meeting at 6:56 p.m.

	COMMUNITY DEVELOPMENT DEPARTMENT REPORT AND RECOMMENDATION
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Subject/Agenda Item:

SP-2023-16 ABCDE Animal Clinic

Consideration of Approval: A request from Pamela Hendrickson, Bergen Sign, on behalf of the CEO of ABCDE Animal Hospital, for Site Plan and Appearance approval for a new monument sign located at 613 Northlake Blvd.

☒ Recommendation to APPROVE

☐ Recommendation to DENY

☒ Quasi-Judicial

☐ Legislative

☐ Public Hearing

Originating Department: Planning & Zoning Project Manager _____ Caryn Gardner-Young, AICP	Reviewed By: Community Development Director _____ Caryn Gardner-Young, AICP
Attachments: <ul style="list-style-type: none">• Signage Package stamp dated December 18, 2023	Public Notice: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Dates: Paper: Mailing <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Notice Distance:

I. Executive Summary

The applicant is proposing to install a new thirty (30) square foot internally illuminated monument sign at 613 Northlake Blvd. This is due to opening a new business that will occupy the entire structure.

II. Site Data

Existing Use:	ABCDE Animal Clinic
Parcel Control Numbers:	68-43-42-16-04-038-0030
Parcel Size:	.257 acres
Existing Future Land Use Designation:	Commercial
Existing Zoning District:	Commercial Northlake Blvd (C-NB)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Apartment Building/North Cove Condominiums	High Density Residential	Apartment Dwelling (R-3)
<i>South</i>	Shopping Center	Lake Park	Lake Park C1 Business District
<i>East</i>	Dark Tide Tattoos	Commercial	Commercial Northlake Blvd (C-NB)
<i>West</i>	Massage	Commercial	Commercial Northlake Blvd (C-NB)

III. Annexation/Zoning History

The subject parcel site is located on the north side of Northlake Blvd., approximately 256 feet west of Southwind Drive. The subject site has a future land use designation of Commercial and a zoning designation of Commercial Northlake Blvd (C-NB).

In September 2023, All Bird Cats Dogs & Exotics Animal Hospital acquired the property and currently occupies the entire building. The hospital has registered a Fictitious Name with the State of Florida under the name of ABCDE Animal Clinic.

At the December Planning and Zoning Adjustment Board meeting, the Board approved a new building wall sign for this business.

IV. Applicable Code Provisions:

Section IV Criteria for Appearance D. Building Design

Section IV Criteria for Appearance E. Signs

V. Summary of Proposed Site Plan and Appearance Details:

The petitioner's site plan and appearance documents consist of:

1. Sign Package drafted by Bergen Sign Company stamp dated December 18, 2023 (Pages 1-10).

VI. Staff Analysis:

Background:

The petition is for Site Plan and Appearance approval for the following:

1. 30 square foot internally illuminated monument sign with an Antique White background and black lettering which will turn white at night.

Standards and Staff Findings:

1. Monument Sign Materials:

Ground signs shall be designed to be compatible with the architecture of the building. The same criteria applicable to wall signs shall apply to ground signs. **The request is for a monument sign which possesses a white background similar to the building color design and matches the previously approved building wall sign. The applicant meets this requirement.**

1. Sign Materials:

Materials used in signs shall have good architectural character and be harmonious with the building design and surrounding landscape. **The request is for a monument sign with a white background similar to the building's color design. A landscape plan was provided that meets the sign base code requirements except for the height of the shrubs, which will be addressed through a condition of approval. The applicant meets this requirement.**

2. Wall Sign Colors:

Colors shall be used harmoniously and with restraint. Excessive brightness and brilliant colors shall be avoided. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged to shield the light source from view. **The request is for a monument sign utilizing black and white, which is restrained and harmonious with the white building.**

3. Ground Sign C-NB regulations:

1 sign per business per street frontage with access to Northlake Blvd, 30 square feet max sign area, 5' from right-of-way and 8' in height. **The proposed sign is 30 square feet in sign area (46" x 96"). It is located no less than 5' from the right of way, and the proposed sign height is 8'. The monument sign complies with the C-NB Zoning Code provisions.**

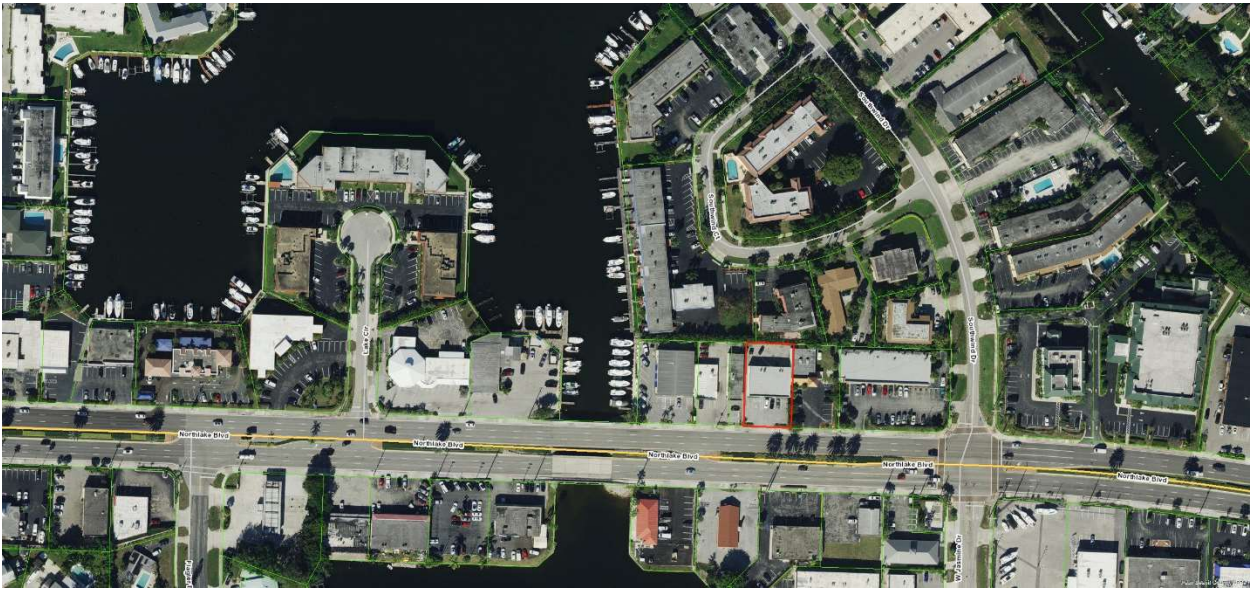
VII. Staff Recommendation:

Approval of SP-2023-14 with the following conditions:

1. The most stringent requirements of Exhibit "A" Community Development Department Report and Recommendation dated December 5, 2023, and strict compliance with the Exhibits listed below, which are attached hereto and made a part hereof as Exhibit "B."
 - a. Sign Package drafted by Bergen Sign Company stamp dated December 18, 2023 (Pages 1-10).
2. The height of the shrubs at the base of the sign shall be at least 30" at the time of planting. (Planning and Zoning)
3. The site plan shall be revised as necessary to reflect all conditions of approval and re-submitted before the issuance of building permits. (Planning and Zoning)
4. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits or a Certificate of Completion. (Planning and Building)
5. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "Village of North Palm Beach." (Planning and Zoning)

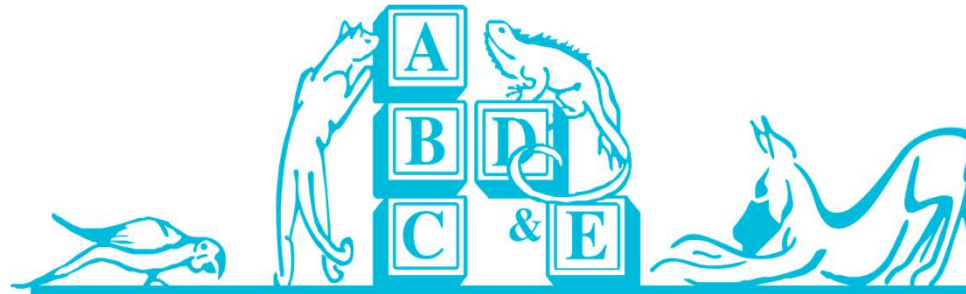
PLANNING, ZONING AND ADJUSTMENT BOARD ACTION– January 2, 2024

LOCATION MAP



COVER PAGE

VILLAGE OF
NORTH PALM BEACH
DEC 18 2023
COMMUNITY DEVELOPMENT
RECEIVED



All Birds, Cats, Dogs & Exotics ANIMAL CLINIC

613 Northlake Blvd, North Palm Beach, FL 33408

11/28/2023

Conforms to the requirements of the 7th Edition (2020) of the Florida Building Code sections 1620 HVHZ and 3107, V(ult) = 170 mph, Exposure category = C, Risk category = II
John J. Orlando PE LLC - 165 Old Ridge Road - Macon, GA 31211 - 478 731 5394 - jlorlando@cox.net - Florida registration # 0044089 Job 332385C sheet 1 of 11

▪ MONUMENT SIGN ▪



90 Newark Pompton Turnpike
Wayne, NJ 07470
Ph. 973.742.7755 Fax. 973.742.0598

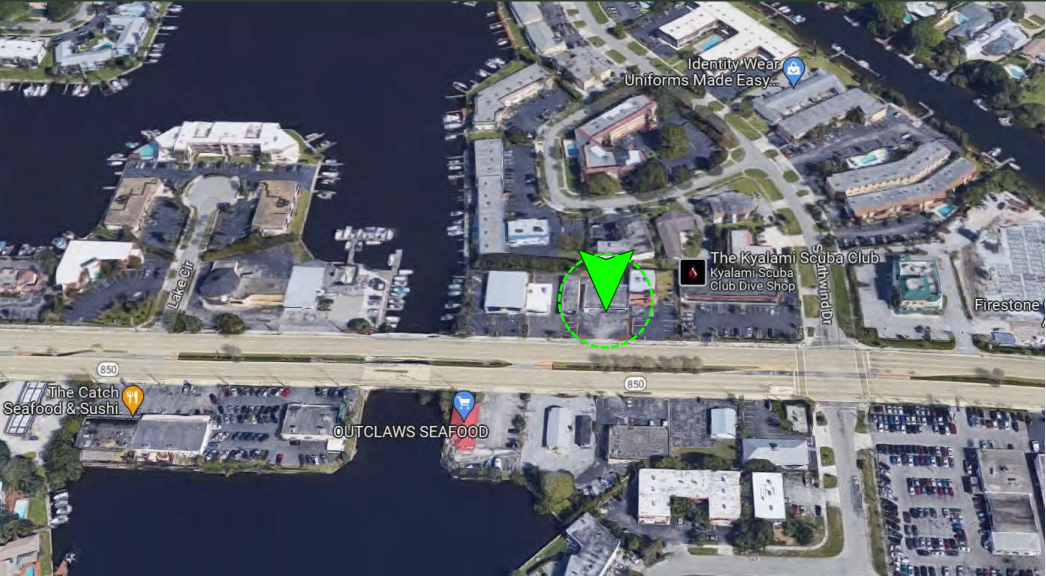
BSC **BERGEN**
SIGN COMPANY

4100 North Powerline Road Suite L4
Pompano Beach, FL 33073
Ph. 954.957.9961 Fax. 954.957.9014

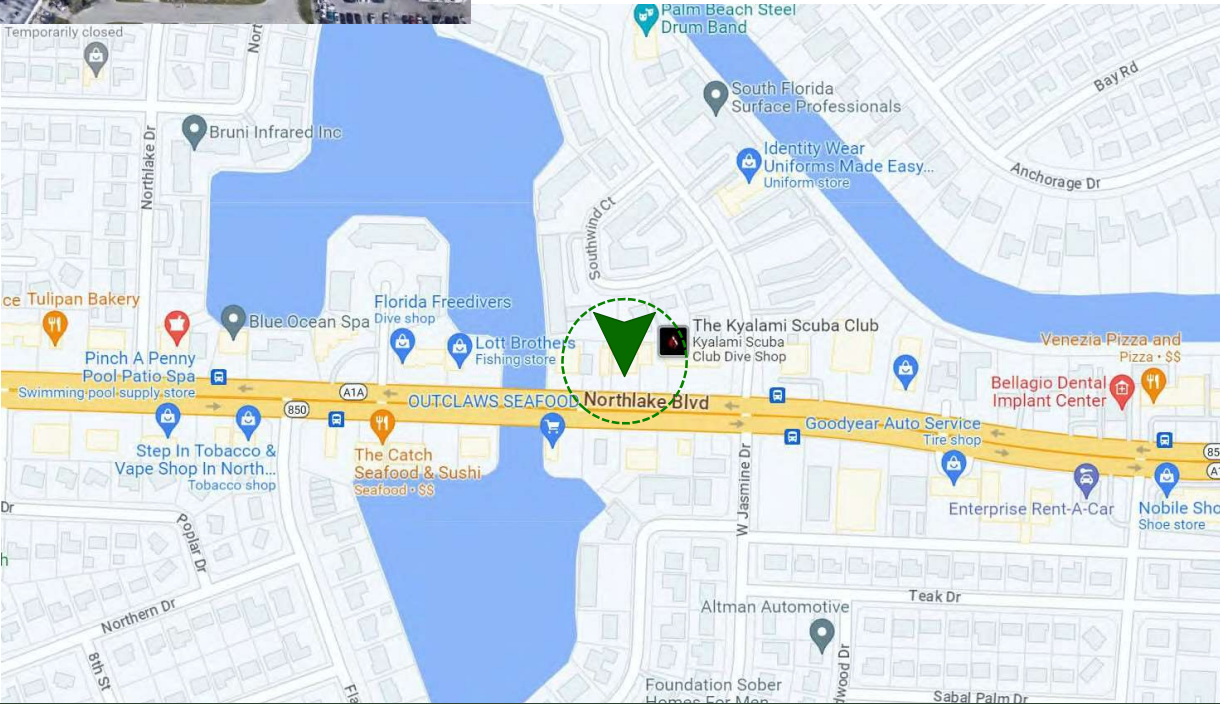
www.bergensign.com

ABCDE ANIMAL CLINIC - NORTH PALM BEACH- SIGN PACKAGE

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SIGN PROJECT LOCATION



BSC BERGEN SIGN COMPANY

90 Newark Pompton Turnpike
Wayne, NJ 07470
Ph. 973.742.7755 Fax. 973.742.0598
4100 North Powerline Road - Suite L4
Pompano Beach, FL 33073
Ph. 954.957.9961 Fax. 954.957.9014

www.bergensign.com

Work Order:

Client
**ABCDE
ANIMAL CLINIC
SIGN PACKAGE**

Project Address
613 Northlake Blvd,
North Palm Beach, FL 33408



**UL ALL ELECTRIC SIGNS ARE
UL LISTED AND LABELED**

Engineer Information:
John J. Orlando PE LLC
165 Old Ridge Road
Macon, GA 31211 478 731 5394
jjorlando@cox.net
Florida registration # 0044089



Signs conform to the requirements
of 2020 FBC Sections 1620 HVHZ & 3107
V(UH) = 170 Mph
Risk Category = II
Exposure C

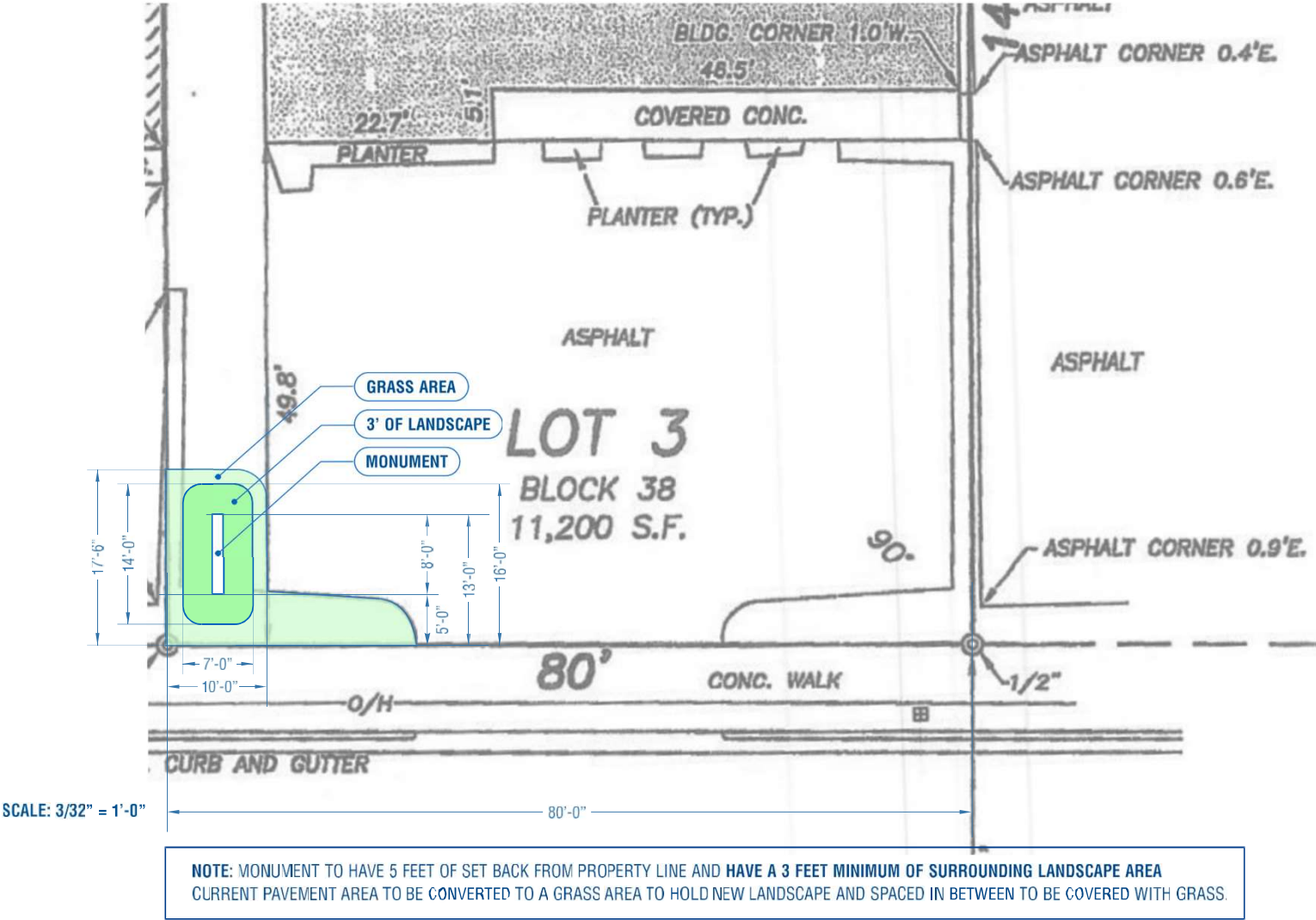
ABCDE Animal Clinic - North PB
Date: 11/28/2023
Sheet: 02

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Sheet: 03

SITE PLAN - MONUMENT SIGN LOCATION DETAIL



BSC BERGEN SIGN COMPANY

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 4100 North Powerline Road - Suite L4
 Pompano Beach, FL 33073
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 www.bergensign.com

Work Order:

Client
ABCDE ANIMAL CLINIC SIGN PACKAGE

Project Address
 613 Northlake Blvd,
 North Palm Beach, FL 33408



ALL ELECTRIC SIGNS ARE UL LISTED AND LABELED

Engineer Information:
 John J. Orlando PE LLC
 165 Old Ridge Road
 Macon, GA 31211 478 731 5394
 jlorlando@cox.net
 Florida registration # 0044089



Signs conform to the requirements of 2020 FBC Sections 1620 HVHZ & 3107
 VLUHJ = 170 Mph
 Risk Category = II
 Exposure C

ABCDE Animal Clinic - North PB
 Date: 11/28/2023
 Sheet: 04

ABCDE ANIMAL CLINIC - NORTH PALM BEACH- SIGN PACKAGE
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Work Order:

Client
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 SIGN PACKAGE**

Project Address
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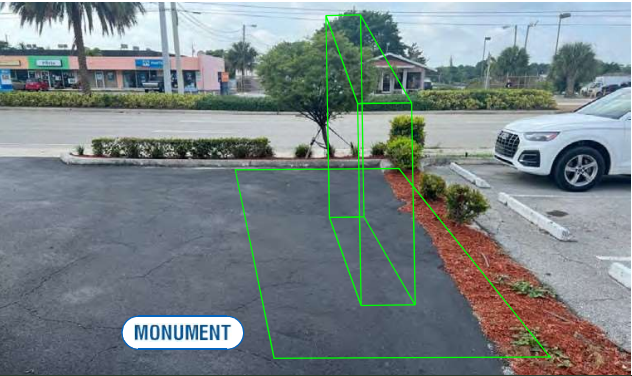
ALL ELECTRIC SIGNS ARE
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Engineer Information:
 John J. Orlando PE LLC
 165 Old Ridge Road
 Macon, GA 31211 478 731 5394
 jlorlando@cox.net
 Florida registration # 0044089



Signs conform to the requirements
 of 2020 FBC Sections 1620 HVHZ & 3107
 V(LR) = 170 Mph
 Risk Category = II
 Exposure C

ABCDE Animal Clinic - North PB
 Date: 11/28/2023
 Sheet: 05



ABCDE ANIMAL CLINIC - NORTH PALM BEACH- SIGN PACKAGE

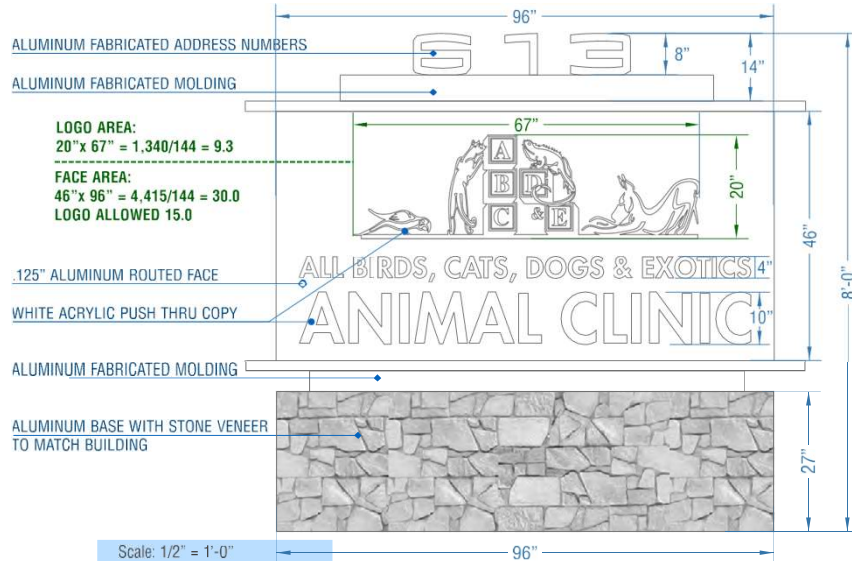
These designs are the original works of Bergen Sign Company, Inc. and are intended for your personal use in connection with the project we are working on for you. They are not to be copied, reproduced or exhibited to anyone outside your organization without the express written consent of Bergen Sign Company, Inc.



INTERNALLY ILLUMINATED DOUBLE SIDED MONUMENT SIGN



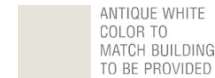
PICTURE RENDERING NOT INTO SCALE - JUST FOR REFERENCE



100515170
BLUE RIDGE RANDOM
LIMESTONE PANEL LEDGER 1



SILVER
METALLIC
FINISH
PAINT



ANTIQUE WHITE
COLOR TO
MATCH BUILDING
TO BE PROVIDED



3M DUAL TONE
BLACK DURING
THE DAY AND
WHITE AT NIGHT

BERGEN SIGN COMPANY

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www.bergensign.com

Work Order:

Client

**ABCDE
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North Palm Beach, FL 33408



**UL ALL ELECTRIC SIGNS ARE
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Engineer Information:

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165 Old Ridge Road
Macon, GA 31211 478.731.5394
jlorlando@cox.net
Florida registration # 0044089

Engineer Seal



Signs conform to the requirements
of 2020 FBC Sections 1620 HVHZ & 3107
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Risk Category = II
Exposure C

ABCDE Animal Clinic - North PB

Date: 11/28/2023

Sheet: 06

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ALUMINUM FABRICATED ADDRESS NUMBERS

ALUMINUM FABRICATED MOLDING

THRU BOLTED SADDLE TO NEW 6" ALUMINUM SQUARE POLE

5"x6"x1/4" ALUMINUM SQUARE TUBE STRUCTURE SUPPORT

.125" ALUMINUM ROUTED FACE

WHITE ACRYLIC PUSH THRU COPY

ALUMINUM FABRICATED CABINET

UL APPROVED WIRING RACEWAY INSIDE CABINET

THRU BOLTED SADDLE TO NEW 6" ALUMINUM SQUARE POLE

ALUMINUM FABRICATED MOLDING

ALUMINUM WELDED BASE

ALUMINUM BASE WITH STONE VENEER TO MATCH BUILDING

10'-0"

Scale: 3/4" = 1'-0"

GRADE

Scale: $\frac{3}{4}" = 1'-0"$

GRADE

3000 PSI CONCRETE

3' x 4' x 3' AUGURED FOUNDATION
DESIGN BASED 3000 CONCRETE

ALUMINUM SADDLE WELDED ALL FOUR SIDES TO EXISTING 6" ALUMINUM POLES
ALUMINUM ANGLE FRAME TO HOLD CABINETS IN PLACE



2" x 2" x 1/4"
WELDED ALUM. FRAME

- 12VOLT LED LIGHTING U/L

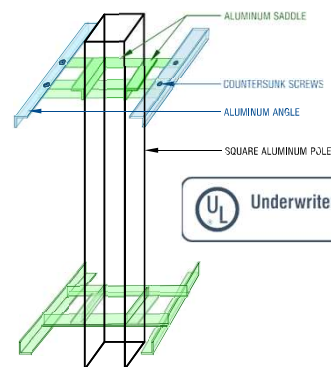
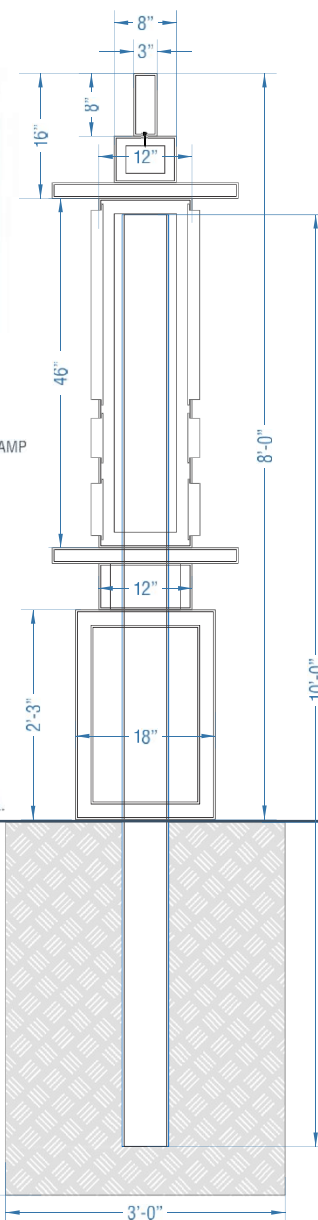
120-12VOLT LED POWER SUPPLY WITH 20AMP
DISCONNECT SWITCH AS PER NEC 600-6.

20 AMP DISCONNECT TO EXISTING
- SIGN CIRCUIT. AS PER NEC 600-6
LOCATION TO BE DETERMINED IN FIELD

FABRICATION NOTES:

ADDITIONAL NOTES:
All fasteners, fixations, hardware and other means of attachment are to be fully concealed.
There will be adequate L.E.D.s embedded in the sign to ensure sufficient illumination.
Signage paint finish must be a flawless opaque shop finish.
The UL label must be placed so that it is not visible from the Mall.
All metal finishes must be of thick enough gauge to avoid 'oil canning'.

PRIMARY #12 MIN THHN THWN ELECTRICAL
PER NEC 600-32A(1) 120V-20A INSIDE 1/2" MIN.
RW FLEXIBLE CONDUIT OR UL APPROVED EQUAL

 Underwriters Laboratories Inc.
Listed

90 Newark Pompton Turnpike
Wayne, NJ 07470
Ph. 973.742.7755 Fax: 973.742.0598

4100 North Powerline Road - Suite L4
Pompano Beach, FL 33073
Ph. 954.957.9961 Fax: 954.957.9014

www.bergensign.com

Work Order:

Client

**ABCDE
ANIMAL CLINIC
SIGN PACKAGE**

Project Address

613 Northlake Blvd,
North Palm Beach, FL 33408



Engineer Information:

John J. Orlando PE LLC
165 Old Ridge Road
Macon, GA 31211 478 731 5394
jjorlando@cox.net
Florida registration # 0044089

Engineer Seal



Signs conform to the requirements of 2020 FBC Sections 1620 HVHZ & 3107
V(Ult) = 170 Mph
Risk Category = II
Exposure C

ABCDE Animal Clinic - North PB

Date: 11/28/2023

Sheet: 07

ABCDE ANIMAL CLINIC - NORTH PALM BEACH- SIGN PACKAGE

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LED LAYOUT AND ELECTRICAL INFORMATION



Power Supply (2) Energizer Series Universal 60W	Total Watts 12811 watts	Area 29.33 sq ft
Power Supply Part Number P-OH060-12-EC	Row Spacing 11.7 in	Perimeter 23.33 feet
Power Supply SKU P-OH060-12-EC	Can Depth 8.00 in	Total Product 6



ELECTRICAL HOOK UP

**SIGN COMPANY DOES NOT PROVIDE
ELECTRIC TO THE SIGN SITE**

Primary, Photo cell or timers by others
 Locking or adding a lock to the disconnect means shall be installed
 on or at the switch or circuit breaker used as the disconnecting means
 and shall remain in place with or without the lock installed

2020 FBC - BUILDING, 7TH EDITION

Section 2615 High-Velocity Hurricane Zones—Plastics

Plastic materials used as structural elements shall be designed by methods admitting of rational analysis according to established principles of mechanics.

2615.1.4

Plastic structural elements, other than sheets, have been designed by a Florida-registered professional engineer. All drawings have been seal engineered by an active certified engineer company.

Approved plastics have been approved for outdoor exposure and durability in accordance with the Voluntary Standard Uniform Load Test Procedure for Thermoformed Plastic Domed Skylights, of the AAMA/WDMA 101/IS2/NAFS.

Outdoor exposure conditions: Specimen exposed in Florida at 45 degree south exposure for a period of five years. Impact testing, after exposure test as above, in accordance with ASTM D256, and Tensile testing on controlled and weathered specimen in accordance with ASTM D638.

Yield strength difference between controlled and weathered specimen shall not exceed 10 percent.

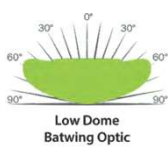
(6) Tap Out Stik Single Sided 96
 Part #: PL-OP2-TO3-P/ST-SS-96-TW
 SKU: B-TO-S18-09670



All Tap Out™ Stiks come with 3' or 6' whips for easy installation

TAP OUT STIK™ SERIES

TAP OUT



Low Dome
 Batwing Optic

Closing the price gap between LEDs and Fluorescents!

SPECIFICATIONS

Beam Angle	160° Low Dome, Batwing Optic
Certifications	UL & cUL Recognized (SAM Manual), CE, RoHS
Dimensions	Single-Sided .71"W x .75"H x Length Double-Sided .71"W x 1.1"H x Length
Efficacy	Natural White 95 LM/W
Fastening	Socket (retro) / Brackets (new)
Input	12VDC
Intensity	See Product Options
Max Mods (Series)	N/A
Operating Temp	-40° to +60°C
Packaging	Single-Sided 24 pieces per tube Double-Sided 16 pieces per tube
Power	See Product Options
Power Supply	P-LED 12VDC
Protection Grade	IP67
Run Footage	N/A
Spacing	N/A
Warranty	5-Year Product / 5-Year Limited Labor

This product is covered by issued U.S. Patents 9,851,054 and 10,024,501.



FEATURES

- The most cost-effective retrofit system on the market
- Fastest payback on the market
- Comes in standard color temperature
- Batwing optic lens for even illumination at all cabinet depths (12"-30" Double-Sided)
- Standard lengths available (18"-120")
- Two mounting options:
 - Fits into existing sockets for retros
 - New Construction Mounting Brackets

WIRING DETAILS

White/Red	Positive
White/Black	Negative

RECOMMENDED COVERAGE CHART

Depth from Stik to Face	Estimated Spacing between Stiks
5"	10"
6"	12"
7" – 8"	16"
9" – 12"	18"

>12 (Use two banks Single-Sided)

Note: Product and depth may vary depending on face material and desired brightness.

**BERGEN
SIGN COMPANY**

90 Newark Pompton Turnpike
 Wayne, NJ 07470
 Ph. 973.742.7755 Fax. 973.742.0598
 4100 North Powerline Road - Suite L4
 Pompano Beach, FL 33073
 Ph. 954.957.9961 Fax. 954.957.9014

www.bergensign.com

Work Order:

Client

**ABCDE
ANIMAL CLINIC
SIGN PACKAGE**

Project Address

613 Northlake Blvd,
 North Palm Beach, FL 33408



UL ALL ELECTRIC SIGNS ARE
 UL LISTED AND LABELED

Engineer Information:

John J. Orlando PE LLC
 165 Old Ridge Road
 Macon, GA 31211 478.731.5394
jlorlando@cox.net
 Florida registration # 0044089

Engineer Seal



Signs conform to the requirements
 of 2020 FBC Sections 1620 HVHZ & 3107
 V(UH) – 170 Mph
 Risk Category = II
 Exposure C

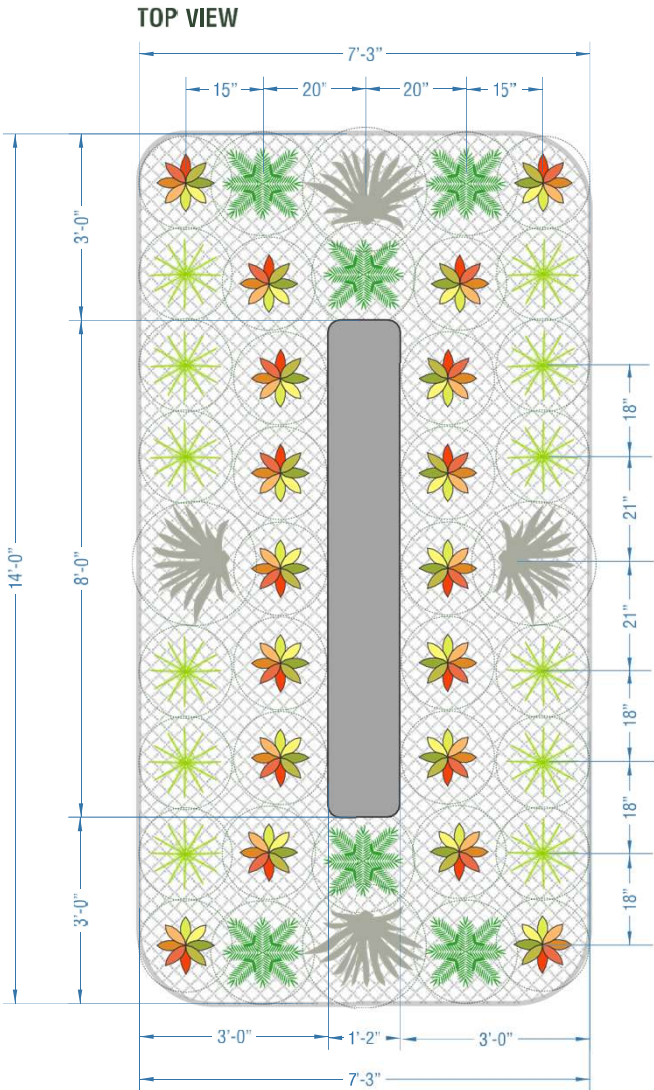
ABCDE Animal Clinic - North PB

Date: 11/28/2023

Sheet: 08

ABCDE ANIMAL CLINIC - NORTH PALM BEACH- SIGN PACKAGE
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LANDSCAPE PLAN



CROTONS
 CODIAEUM VARIEGATUM
 ACCENT PLANT

QUANTITY: (18) EIGHTEEN

AGAVE & YUCCA
 AGAVE SPP. & YUCCA SPP
 ACCENT PLANT

QUANTITY: (4) FOUR

FOXTAIL FERN
 ASPARAGUS DENSIFLORUS
 'MYERS'
 FOUNDATION PLANT

QUANTITY: (12) TWELVE

COONTIE
 ZAMIA PUMILA
 FOUNDATION PLANT

QUANTITY: (6) SIX

2" HEIGHT BLACK MULCH
 PROVIDED AROUND
 ALL SHRUBS

QUANTITY: (20) TWENTY

Planting bed at ground level, with a minimum of 18" height mulch and 3 feet width minimum surrounded monument containing mulch and ground covers.

Professionally maintained and equipped with a properly installed underground automatically controlled rrigation systems equipped with rain sensors to prohibit the system from operation during periods of rain.
 The irrigation system will provide 100% coverage with a 50% overlap for all landscaping areas.

All landscaping material to be Florida number 1 grade or better, all Florida native provided by others.

BERGEN SIGN COMPANY

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 Wayne, NJ 07470
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ABCDE ANIMAL CLINIC
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613 Northlake Blvd,
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Complies to
 NEC 2017

2017 Edition

ALL ELECTRIC SIGNS ARE UL LISTED AND LABELED

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 Macon, GA 31211 478.731.5394
 jlorlando@cox.net
 Florida registration # 0044089

Engineer Seal

Signs conform to the requirements of 2020 FBC Sections 1620 HVHZ & 3107 (VIU) = 170 Mph
 Risk Category = II
 Exposure C

ABCDE Animal Clinic - North PB

Date: 11/28/2023

Sheet: 09

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SIGN CODE FROM NORTH PALM BEACH

Ground signs

Ground signs shall be designed in harmony with the architectural theme, design style and scale of the principal building on site and incorporate complementary building materials.

Sign Setback Minimum	Sign Height Maximum	Sign Face Area Maximum
5 ft.	8 ft.	30 sq. ft.
10 ft.	8 ft.	36 sq. ft.
20 ft.	10 ft.	40 sq. ft.
30 ft.	10 ft.	45 sq. ft.

b. Commercial occupancy:

Number — One sign per parcel right-of-way frontage maximum.

©Permissible number, area, spacing and height of permanent accessory signs.

(1)Ground signs:

a.Multi-family buildings with more than four (4) dwelling units.

Number — One (1) maximum.

Sign Area — Maximum thirty-two (32) square feet.

Height — Eight (8) feet maximum.

Set back, Minimum — Ten (10) feet front — three (3) feet side.

b.Commercial occupancy:

Number — One sign per parcel right-of-way frontage maximum.

(2)Building wall signs:

a. Subject to the design criteria of this article, the maximum mounting height of a building wall sign shall be eighteen (18) feet, except that on a building of more than two (2) stories, a single building wall sign is allowed above eighteen (18) feet facing each public street frontage

b. Each multiple occupancy complex may display one (1) permanent accessory building wall identification sign facing each public street frontage on the principal building in which the complex is located, not to exceed a sign area of twenty (20) square feet.

c. Each occupant of a multiple occupancy complex that has a licensed building frontage which has direct ground level walk-in access from a public or private roadway or sidewalk may display one (1) permanent accessory building wall sign on any exterior portion of the complex that is part of the occupant's unit (not including a common or jointly owned area), and that has a **maximum sign area of five (5) percent of the facade area if the front building setback is twenty-five (25) feet minimum**, seven (7) percent of the facade area if the front building setback is seventy (70) feet minimum and ten (10) percent of the facade area if the front building setback is one hundred (100) feet minimum.

Exception: An occupant that has building facade area facing multiple public street frontages may have one (1) full size wall sign facing a public street frontage and a one-half (½) size wall sign facing the other street frontages.

d. Each occupant of a single occupancy complex may display **one (1) permanent accessory wall sign on the principal building in which the occupancy is located, not to exceed a sign area of five (5) percent of the facade area if the front building setback is twenty-five (25) feet minimum**, seven (7) percent of the facade area if the front building setback is seventy (70) feet minimum and ten (10) percent of the facade area if the front building setback is one hundred feet (100) minimum.

Exception: An occupant that has building facade area facing multiple public street frontages may have one (1) full size wall sign facing a public street frontage and one-half (½) size wall sign facing the other street frontages.

BSC BERGEN SIGN COMPANY

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Signs conform to the requirements
of 2020 FBC Sections 1620 HVHZ & 3107
VIUW = 170 Mph
Risk Category = II
Exposure C

ABCDE Animal Clinic - North PB

Date: 11/28/2023

Sheet: 10

	COMMUNITY DEVELOPMENT DEPARTMENT REPORT AND RECOMMENDATION
---	---

Subject/Agenda Item:

PUD-2023-005 635 US Highway 1

Consideration of Approval: The property owner, ASL NPB, LLC, and the lessee, Desano – North Palm Beach, LLC, have requested a major modification with a waiver to an existing Commercial Planned Unit Development (PUD). The modification is for the installation of an 8.7 square foot wall sign on the north façade at 635 U.S. Highway One, which is not permitted by the Zoning Code but can only be approved as an additional waiver to the PUD.

☒ Recommendation to APPROVE

☐ Recommendation to DENY

☒ Quasi-Judicial

☐ Legislative

☐ Public Hearing

Originating Department: Planning & Zoning Project Manager _____ Caryn Gardner-Young, AICP	Reviewed By: Community Development Director _____ Caryn Gardner-Young, AICP
Attachments: <ul style="list-style-type: none">• Justification Statement dated December 11, 2023• Boundary Survey by Lidberg Land Surveying Inc. stamped-dated December 11, 2023• Building and Sign Elevation sheet created by Cotleur & Hearing and stamp-dated December 11, 2023	Public Notice: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Dates: Paper: Mailing <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Notice Distance: _ 500'

I. Executive Summary

The applicant proposes installing an 8.7 square foot building wall sign on the north façade, which is precluded by the Village's Zoning Code but can be approved as a waiver under the Village's Planned Unit Development regulations.

II. Site Data

Existing Use:	Vacant
Parcel Control Numbers:	68-43-42-16-34-002-0000
Legal Description:	POETS WALK MEMORY CARE TR B K/A FUTURE DEVELOPMENT
Parcel Size:	.27 acres
Existing Future Land Use Designation:	Commercial
Existing Zoning District:	Commercial – Mixed Use (C-MU)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Memory Care	Commercial	Commercial – Mixed Use (C-MU)
<i>South</i>	Atrium Office Condominium	Commercial	Commercial – Mixed Use (C-MU)
<i>East</i>	North Cove Office Building	Commercial	Commercial – Mixed Use (C-MU)
<i>West</i>	Memory Care	Commercial	Commercial – Mixed Use (C-MU)

III. Background

The subject parcel is +/-0.27-acres in size and located on the west side of U.S. Highway One, between Lighthouse Drive and Ebbtide Drive. The parcel falls under the C-MU (Commercial Mixed-Use Zoning District) as per the Village Zoning map and has a C (Commercial) Future Land Use designation as per the Village Future Land Use map. The property address is 635 U.S. Highway One, North Palm Beach, FL 33408.

The Village Council approved the Memory Care Commercial PUD (CPUD) through the adoption of Ordinance No. 2017-07 on June 22, 2017. The 6,000 square foot commercial outparcel building is reserved for restaurant, retail, or office uses. The building was constructed in 2022, and all necessary permits have been applied for in preparation for Desano Pizzeria occupying the northernmost tenant space. As part of the final CPUD approval, the Village Council approved a series of five (5) waivers:

- A. A waiver from Section 27-64 of the Village Code of Ordinances to remove trees required for the north buffer spaced at one (1) for every seventy-five (75) lineal feet of landscape buffer. No trees shall be planted within the north landscape buffer adjacent to the courtyard (spacing requirements will be modified as depicted on the Landscape Plan).
- B. A waiver from Section 45-32(E)7 of the Village Code of Ordinances to provide a total of seventy-eight (78) parking spaces where one hundred and fifty (150) parking spaces are required.

- C. A waiver from Section 45- 36(D) of the Village Code of Ordinances to provide for a wall eight (8) feet in height adjacent to the outdoor courtyard. The Code limits the height of walls and fences to six (6) feet.
- D. A waiver from Section 45- 32(D) of the Village Code of Ordinances to allow for a front setback of ten (10) feet for the commercial out parcel building placement. The Code requires a front setback of fifty (50) feet.

In October 2023, the Village Council approved a minor amendment to the Planned Unit Development (PUD) to allow for an indoor and outdoor bar area on the north façade, including a six-seat outdoor seating area.

In December 2023, the Village Council approved an additional minor amendment to the Planned Unit Development (PUD) to allow for an outdoor seating area with cover and furniture, to install a building wall sign on the east façade of the building, and to allow five (5) stacks to penetrate the roof to enable fryers and ovens to be used on-site.

IV. Applicable Code Provisions:

Section 45.35-1 Planned Unit Development Section IV Criteria for Appearance D. Building Design

V. Summary of Proposed Site Plan and Appearance Details:

The petitioner's Planned Unit Development Amendment documents consist of the following:

- a. Boundary Survey by Lidberg Land Surveying Inc. stamped-dated December 11, 2023
- b. Building and Sign Elevation sheet created by Coteleur & Hearing and stamp-dated December 11, 2023

VI. Staff Analysis:

The petition is for the approval of a major Planned Unit Development Amendment. The purpose of this amendment is to install an 8.7 square foot wall sign on the north façade of the building, which requires a waiver from Section 6-115(C)(2)e of the Village Code. The proposed sign is internally lit with a black background and white lettering facing the existing restaurant/Memory Care driveway from US Highway 1. The applicant stated that they are unable to obtain signage on the existing monument sign, which is why they are requesting a sign on the north façade so that drivers traveling southbound on U.S. Highway 1 will be able to identify the location prior to driving past it. Per the Zoning Code, a sign is only permitted when fronting streets. Since the proposed sign is fronting the driveway to the facility, it is not permitted. However, the Village's PUD regulations allow flexibility, and the petitioner is requesting an additional waiver to the Village Code.

Standards and Staff Findings:

Section 45.35-1 Planned Unit Development

1. Harmony:

The proposed use or uses shall be of such location, size, and character as to be in harmony with the appropriate and orderly development of the zoning district in which it is situated and shall not be detrimental to the orderly development of adjacent zoning districts. **The applicant is not proposing a new use.**

2. Traffic/Neighborhood Impacts:

The location and size of the proposed use or uses, the nature and intensity of the principal use and all accessory uses, the site layout, and its relation to streets giving access to it shall be such that traffic to and from the use or uses, and the assembly of persons in connection therewith, will not be hazardous or inconvenient to the neighborhood nor conflict with the regular traffic of the neighborhood. **The applicant is not proposing a new use but improving the site layout by installing a sign informing southbound US Highway 1 travelers where the restaurant is located.**

2. Building Modifications:

The location and height of buildings, the location, nature, and height of walls and fences, and the nature and extent of the landscaping of the site shall be such that they will not hinder or discourage the proper development and use of adjacent land and buildings nor impair the value thereof. **The applicant is not proposing adding walls or wall height to any building or fence except as previously approved. The proposed modification will not hinder or discourage the proper development or use of adjacent land and buildings nor impair the value.**

2. Density/Open Space:

The standards of density and required open space in the proposed project are at least equal to those required by this ordinance in the zoning district in which the proposed

project is to be located, except as may be permitted for key redevelopment sites through subsection 45-35.1.VIII. **The applicant is not impacting density or open space.**

2. Proposed Uses:

There shall be no uses within the proposed project that are not permitted in the zoning district where the proposed project will be located. **The applicant is not proposing changes to the original use, and restaurants are permitted in the C-MU Zoning District.**

Section IV Criteria for Appearance D. Building and Sign Design

1. Wall Sign Materials:

Materials used in signs shall have good architectural character and be harmonious with the building design and surrounding landscape. **The request is for an 8.7 square foot internally lit wall sign with a black background and white lettering. The building façade color is white. There is no other lettering or signage on the north façade. The applicant meets this requirement.**

2. Wall Sign Architecture:

Wall signs shall be part of the architectural concept. Size, color, lettering, location, and arrangement shall be harmonious with the building design and compatible with signs on adjoining buildings. Signs shall have good proportions. **The request is for an 8.7 square foot internally lit wall sign with a black background and white lettering. The wall is white, and the sign is to the left of the side entrance doors. The sign is in proportion to the restaurant space.**

3. Wall Sign Colors:

Colors shall be used harmoniously and with restraint. Excessive brightness and brilliant colors shall be avoided. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged to shield the light source from view. **The request is for an 8.7 square foot internally**

lit wall sign with a black background and white lettering. The building wall is white; consequently, the proposed sign colors are harmonious. There is no proposed use of bright or brilliant colors.

4. Wall Sign Area:

The closest regulations which would pertain to the proposed sign would be Article V, Section 6-115 of the Code of Ordinance dealing with permitted permanent accessory signs, According to Section 6-115(C)(3)(b) and (c): An occupant that has building facade area facing multiple public street frontages may have one (1) full size wall sign facing a public street frontage and a one-half ($\frac{1}{2}$) size wall sign facing the other street frontages which sign is not to exceed 20 square feet. **The main wall sign for Desano Pizzeria, approved in December, was 42 square feet, so one-half the size would be 21 square feet. The proposed sign is 8.7 square feet, meeting the building wall sign size limitation.**

VII. Staff Recommendation:

Approval of SP-2023-0617 with the following conditions:

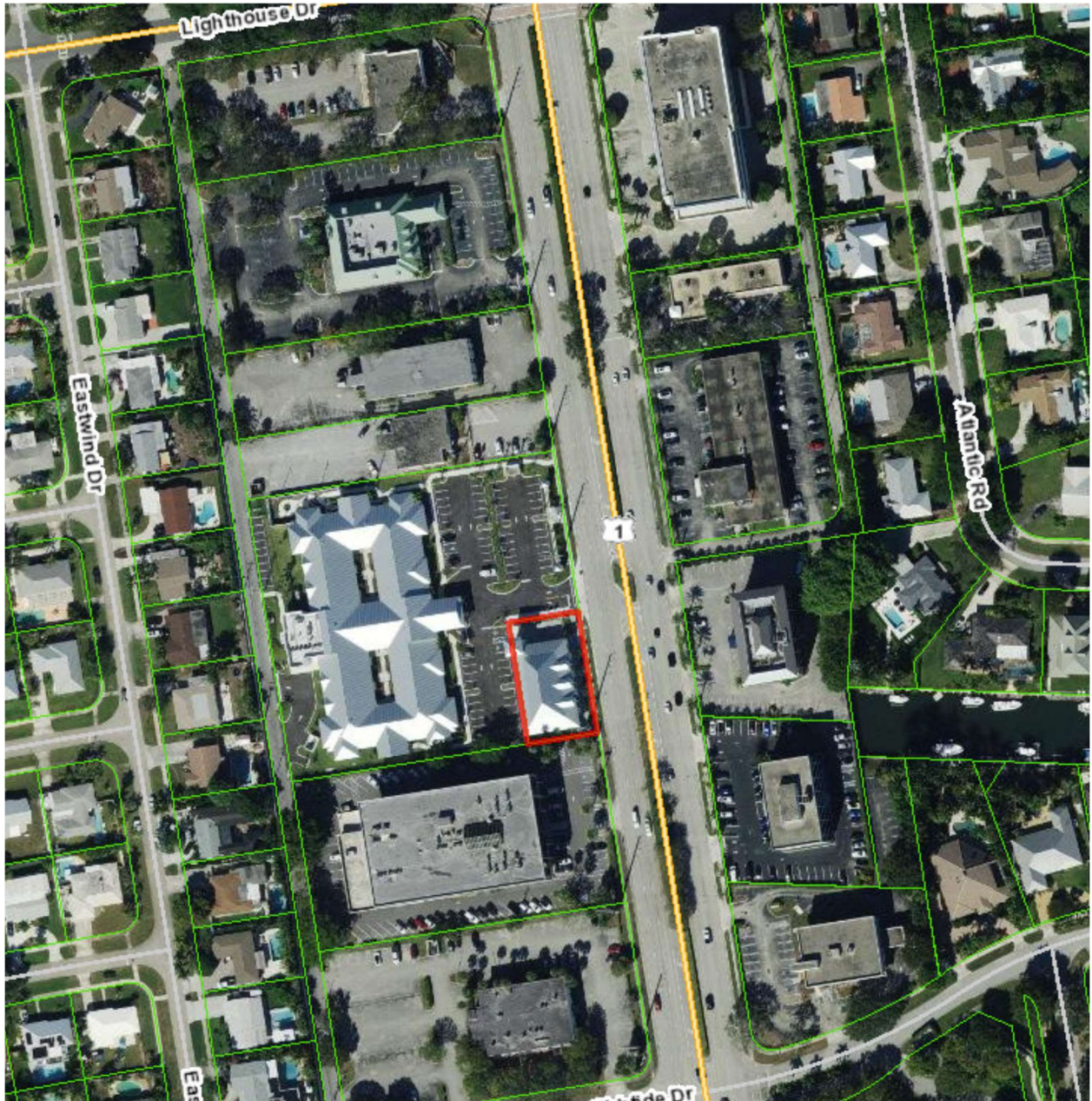
1. The most stringent requirements of Exhibit “A” Community Development Department Report and Recommendation dated December 11, 2023, and strict compliance with the Exhibits listed below, which are attached hereto and made a part hereof as Exhibit “B.”
 - a. Boundary Survey by Lidberg Land Surveying Inc. stamped-dated December 11, 2023
 - b. Building and Sign Elevation sheet created by Cotleur & Hearing and stamp-dated December 11, 2023
2. A sign building permit is required for the proposed wall sign. (Planning and Zoning)
3. The site plan shall be revised as necessary to reflect all conditions of approval and re-submitted before the issuance of building permits. (Planning and Zoning)
4. Non-compliance with any of the conditions of approval will result in withholding of the issuance of building permits or a Certificate of Occupancy. (Planning and Building)

5. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the “Village of North Palm Beach.” (Planning and Zoning)

PLANNING AND ZONING ADJUSTMENT BOARD ACTION – January 2, 2024

VILLAGE COUNCIL ACTION – January 25, 2024

Exhibit B
Location Map





DESANO PIZZERIA
Major PUD Amendment
Justification Statement
December 11, 2023

INTRODUCTION | REQUEST

On behalf of the Owner, ASL NPB, LLC., and Applicant, Desano – North Palm Beach LLC, we are requesting approval of a Waiver/Major PUD Amendment to the approved Commercial Planned Unit Development per Ordinance No. 2017-07, to permit an 8.7 square-foot accessory wall sign on the north façade adjacent to a private driveway.

PROJECT CONTACT

All correspondence in connection with this request should be directed to the agents for the applicant:

AGENT / PLANNER

Cotleur & Hearing
Contact: Donaldson Hearing/Zach Ciciera
1934 Commerce Lane, Suite 1
Jupiter, Florida 33458
Phone: (561) 747-6336 x 135

OWNER

ASL NPB, LLC.
Contact: Douglas Brawn
1615 Forum Place, Suite 200
West Palm Beach, FL 33401
Phone:

APPLICANT / TENANT

Desano – North Palm Beach LLC
Contact: Scott Desano
PO Box 921144
Norcross, GA 30010 UN

LOCATION

The subject +/-0.27-acre parcel is located on the west side of US Highway 1, south of Lighthouse Drive and north of Ebbtide Drive. The subject parcel is within the C-MU (Commercial Mixed-Use District) pursuant to the Village Zoning map and C (Commercial) future land use designation pursuant to the Village Future Land Use map. The property address is 635 US HWY 1, North Palm Beach, FL 33408.

Adjacent Property	Zoning District	Future Land Use Designation
North	C-MU	C
South	C-MU	C
East	C-MU	C
West	C-MU	C

BACKGROUND

Approved in 2017, the subject 6,000 square foot building reserved for restaurant/retail/office use lies within the commercial outparcel within the aforementioned CPUD in conjunction with the adjacent 37,404 square foot Memory Care facility. Construction of the subject building has been finalized in 2022, however, all applicable permits have been applied for in preparation of future tenant Desano Pizzeria to occupy the northern most tenant space. A series of five (5) waivers have been approved by Village Council as part of the final CPUD approval, which are as follows:

- A. A waiver from Section 27- 64 of the Village Code of Ordinances to eliminate trees required for the north buffer spaced at one (1) for every seventy- five (75) lineal feet of landscape buffer. No trees shall be planted within the north landscape buffer adjacent to the courtyard (spacing requirements will be modified as depicted on the Landscape Plan).
- B. A waiver from Section 45- 32(E)7 of the Village Code of Ordinances to provide a total of seventy- eight (78) parking spaces where one hundred and fifty (150) parking spaces are required.
- C. A waiver from Section 45- 36(D) of the Village Code of Ordinances to provide for a wall eight (8) feet in height adjacent to the outdoor courtyard. The Code limits the height of walls and fences to six (6) feet.
- D. A waiver from Section 45- 32(D) of the Village Code of Ordinances to allow for a front setback of ten (10) feet for placement of the commercial outparcel building. The Code requires a front setback of fifty (50) feet.

WAIVERS

The applicant is requesting a waiver to Sec. 6-115.2(c) of the Village Code, to permit an accessory wall sign on the north façade fronting a private driveway and sidewalk. The proposed sign, as previously mentioned, is measured at 8.7 square-feet, and designed to be consistent with the restaurant's theme and color palette. It should be noted that the applicant is unable to obtain signage on the existing monument sign, therefore this request is a result of that hardship and will allow the restaurant appropriate signage along US HWY 1, and is in conformance with maximum sign area requirements set forth in the Village Code.

A. The extent to which the alternate standard proposed by the applicant differs from the code's standard that would be waived.

Signage – The applicant is proposing a small 8.7 square-foot wall sign on the north façade, consistent with the primary wall signage and the buildings architecture. The north façade provides direct access to the restaurant, however, it does not front a public street which is in conflict with Sec. 6-115.C(2)(c).

B. Whether the granting of the waiver will lead to innovative design in which other minimum standards are exceeded.

Signage – Granting of this waiver will not lead to alterations of other elements of the site.

C. Whether the request clearly demonstrates the public benefits to be derived.

Signage – The building's location along US-1 complemented with its shallow setback creates a necessity for additional signage to alert drivers of the restaurant's entrance. The signage proposed on the north façade is minimal, calculated at 8.7 square-feet. It should be noted that the applicant is unable to present signage on the existing monument sign, thus creating a hardship.

D. Whether the request furthers the goals of the village master plan, and exemplifies the architectural, building, and site design techniques desired within the Village's Appearance Plan.

Signage – Although the requested accessory sign is minimal in size, the design is harmonious with the building and accents the north façade in an appropriate manner.

E. Any unusual circumstances regarding the property or immediate area, including the location of power lines, specimen trees, or shade trees.

Signage – There are no unusual circumstances affecting the signage request.

F. The effect of approving or denying the waiver on the development project and on the surrounding area.

Signage – Approval of this request will not have any significant impact on the surrounding area and will provide appropriate signage on the north façade. Given the inability to utilize the existing monument sign for tenant signage, approval of this request will allow DeSano Pizzeria to display (2) total signs as opposed to only one, consistent with surrounding commercial businesses.

G. Consistency with the comprehensive plan.

Although there are limited objectives, goals, and policies directly applicable to this request; the requested waiver and the site in its entirety are consistent with the applicable provisions set forth in the comprehensive plan and does not create conflict with any provisions.

H. How the proposed waiver provides a public benefit.

Signage – The building's location along US-1 complemented with its shallow setback creates a necessity for additional signage. Driver's traveling southbound on US-1 will not be within reasonable view of the building's primary sign on the east façade due to the current setback of the building. The signage proposed on the north façade is minimal, calculated at 8.7 square-feet. It should be noted that the applicant is unable to present signage on the existing monument sign, thus creating a hardship.

CONCLUSION

On behalf of the applicant, we look forward to working with staff to address any comments that may arise as a result of this request.

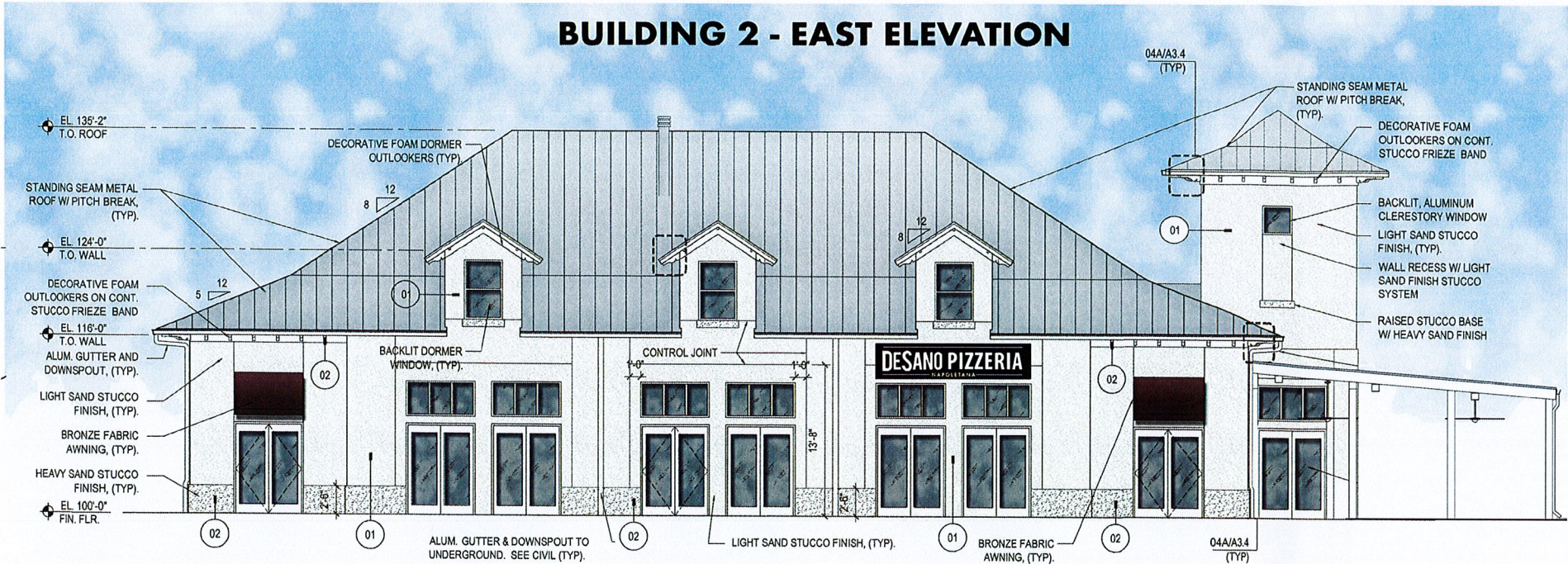
3'4"



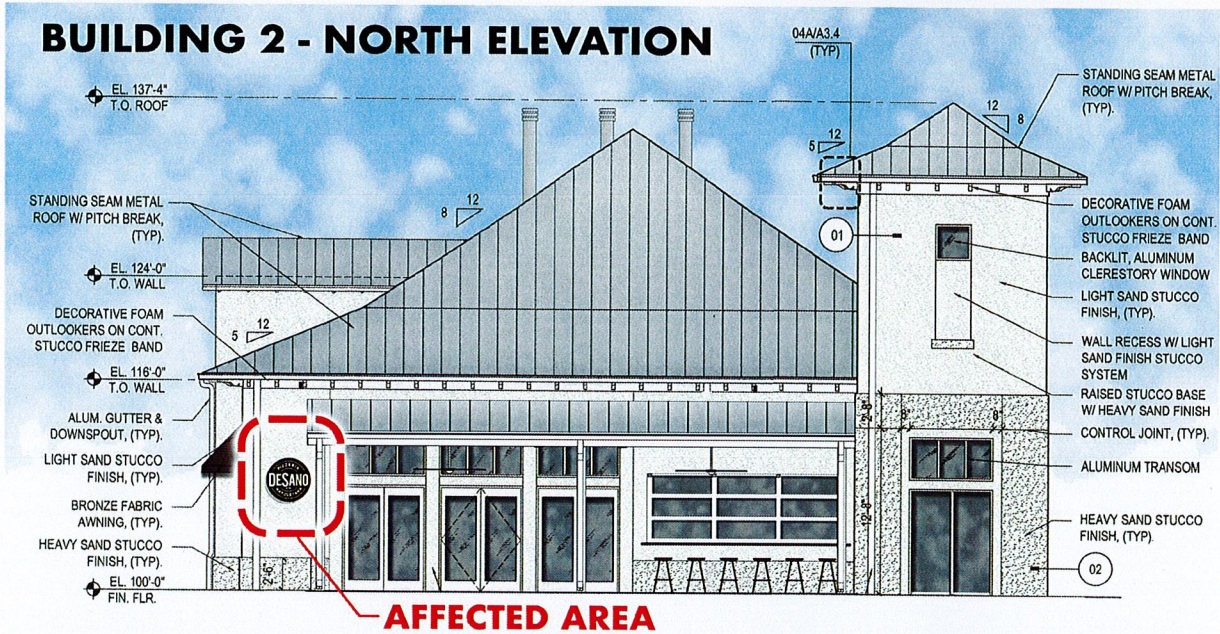
SECONDARY WALL SIGN

3'4" X 3'4"
SIGN AREA: 8.7 SF
MAXIMUM PERMITTED SIGN AREA = 20 SF
20% OF PRIMARY SIGN AREA
FACADE AREA = 800 SF
TOP OF SIGN TO GRADE = 9'0"
INTERNALLY LIT ALUMINUM CABINET WITH ACRYLIC
LETTERING FIXED TO WALL SURFACE, NOT TO EXCEED
8-INCH PROJECTION

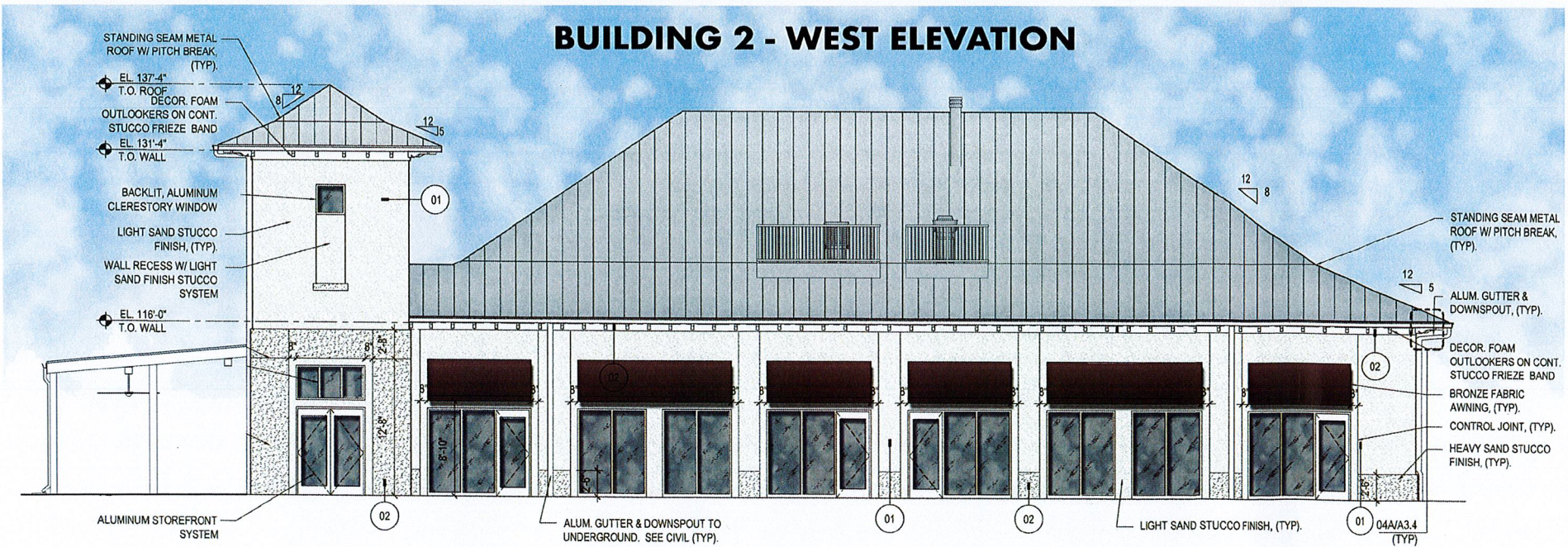
BUILDING 2 - EAST ELEVATION



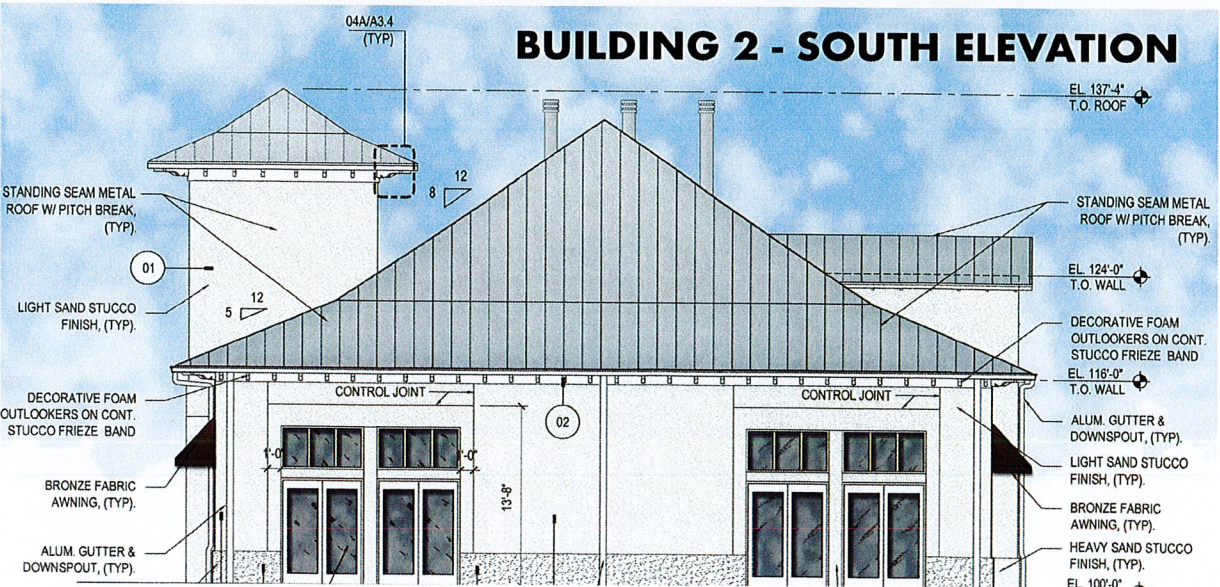
BUILDING 2 - NORTH ELEVATION



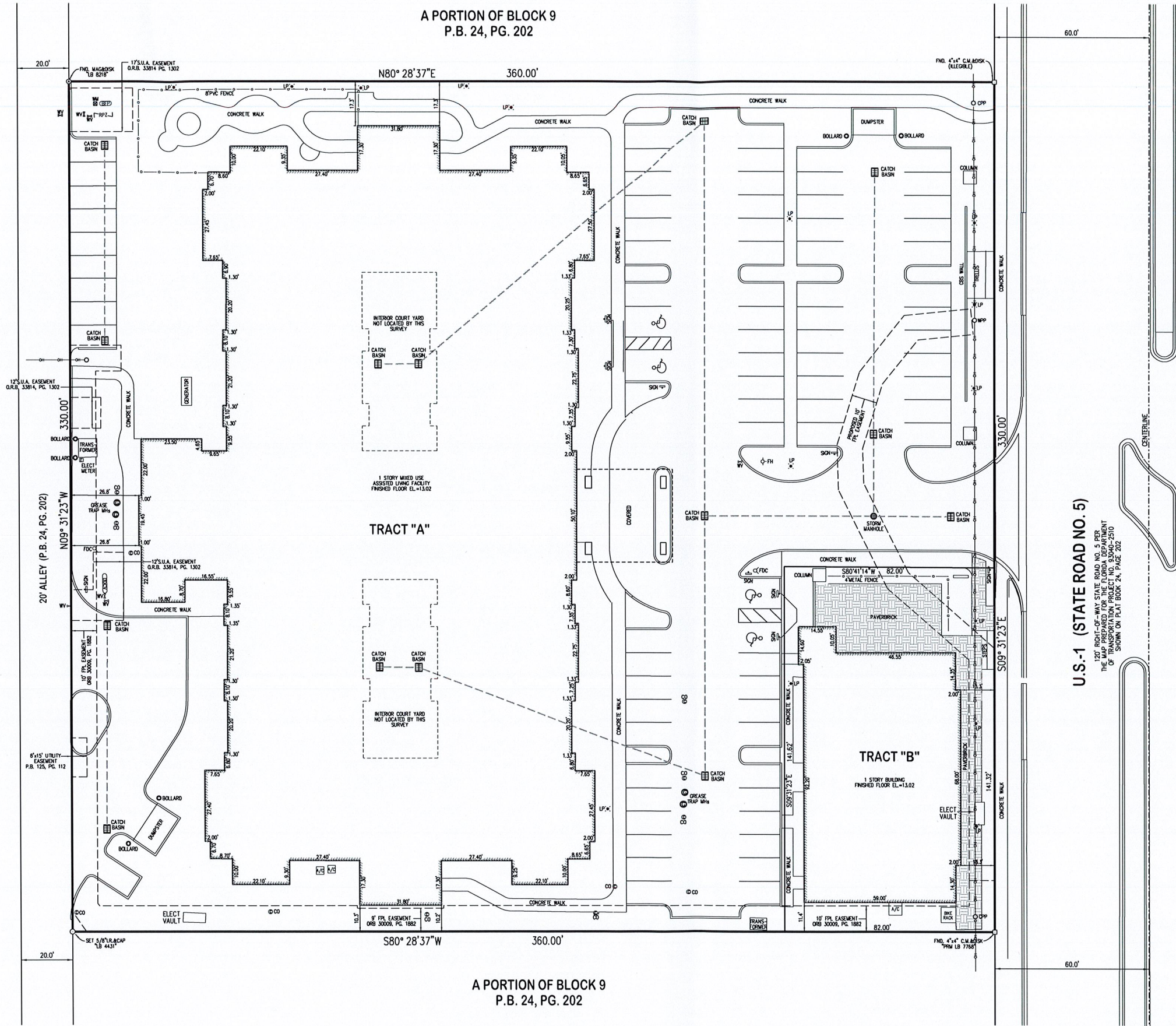
BUILDING 2 - WEST ELEVATION



BUILDING 2 - SOUTH ELEVATION



A PORTION OF BLOCK 9
P.B. 24, PG. 202



ABBREVIATIONS:
(C) = CALCULATED
C.B.S. = CONCRETE BLOCK STRUCTURE
C.M.B. = COMMISSIONER'S MINUTES BOOK
C.M. = CONTACT MANHOLE
C.O. = CLEAN OUT
CONC. = CONCRETE
D.B. = DRAIN BOX
D.C.V. = DOUBLE DETECTOR CHECK VALVE
F.C. = FIRE DEPARTMENT CONNECTION
F.H. = FIRE HYDRANT
F.L. = FOUND
F.P.L. = FLUORIDE POWER & LIGHT
I.C.V. = IRRIGATION CONTROL VALVE
I.P. = IRON PIPE
INV. = INVERT
L.B. = LICENSE BUSINESS
L.P. = LIGHT POLE
L.S. = LICENSE SURVEY
(M) = MEASURED
M.H. = MANHOLE
M.H.W. = MEAN HIGH WATER
MON. = MONUMENT
O.R.B. = OFFICIAL RECORD BOOK
(P) = PLAT
P.B. = PLAT BOOK
P.R.M. = PERMANENT REFERENCE MONUMENT
R.O.W. = RIGHT-OF-WAY
R.C.P. = REINFORCED CONCRETE PIPE
R.P.B. = ROAD PLAT BOOK
(S) = SURVEY
S.P. = STOP LIGHT POLE
S.M. = SANITARY MANHOLE
S.M.H. = SOUTHERN BELL TELEPHONE MANHOLE
S.M.H. = STORM MANHOLE
T.B. = TRAFFIC BOX
T.P. = TRAFFIC LIGHT POLE
T.V. = TELEVISION
U.E. = UTILITY EASEMENT
W. = WATER METER
W.P. = WOOD POLE
W.U.P. = WOOD UTILITY POLE
W.V. = WATER VALVE

A PORTION OF BLOCK 9
P.B. 24, PG. 202

11/21/2022	FINAL SURVEY - #20-078-111 - FB792/62 A.W. - PRINT R.M.	R.J.W.
09/11/2021	STEMMALL RESTAURANT/RETAIL BUILDING - #20-078-110 - FB792/62 K.F.	R.J.W.
DATE:	REVISIONS:	BY:

LIDBERG LAND SURVEYING, INC.
675 West Indiantown Road, Suite 200,
Jupiter, Florida 33458 TEL. 561-746-8454

**BOUNDARY SURVEY
TRACT "A" POET'S WALK
PREPARED FOR:
NPB SENIOR DEVELOPMENT COMPANY, INC.
NPB COMERCIAL, LLC**

CAD. K:\JST \ 164243 \ 125-112 \ 20-078-101 \ 20-078-101.DGN					
REF.					
F.L.D.	J.P.	FB.	PG.	JOB	20-078-101
OFF.	L.J.C.	781 781	25 42	DATE	01/05/21
OKD.	D.C.L.	SHEET	1 OF 1	DWG.	D20-078

PROPERTY DESCRIPTION

TRACTS "A" AND "B", ACCORDING TO THE PLAT OF POET'S WALK MEMORY CARE, RECORDED IN PLAT BOOK 125, PAGES 112 & 113, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

VILLAGE OF
NORTH PALM BEACH

DEC 11 2023

COMMUNITY DEVELOPMENT
RECEIVED

SURVEY REPORT

- THIS BOUNDARY SURVEY CONFORMS TO THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
- SURVEY BASED ON THE PLAT OF POET'S WALK MEMORY CARE.
- LEGAL DESCRIPTION WAS PREPARED BY LIDBERG LAND SURVEYING, INC.
- BEARING BASIS: NORTH 09°34'31"23" WEST ALONG THE WEST LINE OF TRACT "A".
- THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD), PER FLOOD INSURANCE RATE MAP NO. 12099C0383F DATED OCTOBER 5, 2017. NO SEARCH FOR ANY MAP AMENDMENTS OR REVISIONS HAS BEEN MADE BY THIS OFFICE.
- TOTAL AREA = 2.727 ACRES, MORE OR LESS.
- THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY LIDBERG LAND SURVEYING, INC.
- ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED AN ACCURACY OF 1" IN 7,500'.
- ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88)
- THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE.
- PREPARED FOR:
NPB SENIOR DEVELOPMENT COMPANY, INC.
NPB COMERCIAL, LLC
- © COPYRIGHT 2022 BY LIDBERG LAND SURVEYING, INC.
THE SKETCH OF SURVEY AND SURVEY REPORT COMPRISE THE COMPLETE SURVEY.
THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER.
REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY LIDBERG LAND SURVEYING, INC.

LIDBERG LAND SURVEYING, INC.
Digitally signed by David C. Lidberg
DN: cn=LIDBERG LAND SURVEYING, o=NPB SENIOR DEVELOPMENT COMPANY, INC., ou=NPB COMERCIAL, LLC, email=David.C.Lidberg@npb.com, c=US

DATE OF SURVEY: NOVEMBER 21, 2022

BY:
DAVID C. LIDBERG
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 3613


COMMUNITY DEVELOPMENT DEPARTMENT REPORT AND RECOMMENDATION
Subject/Agenda Item:
2023-0011 Sushi Jo & Bistro

Consideration of Approval: A request from Cotleur & Hearing, agent for Northlake 529, LLC, property owner, for Site Plan and Appearance approval of additional square footage and site changes and two (2) waivers for the number of required parking spaces and the width of the two-way drive aisle for an existing vacant restaurant parcel located at 529 Northlake Boulevard.

[X] Recommendation to APPROVE

[] Recommendation to DENY

[X] Quasi-Judicial

[] Legislative

[] Public Hearing

Originating Department: Planning & Zoning Project Manager Caryn Gardner-Young	Reviewed By: Community Development Director Caryn Gardner-Young, AICP
Attachments: <ul style="list-style-type: none"> • Justification Statement • Traffic Performance Statement by Kimley-Horn and stamp-dated December 20, 2023 • Boundary Survey by Nexgen Surveying ,LLC stamp-dated December 20, 2023 • Photometrics Lighting Plan by MB Design Associates stamp-dated December 20, 2023 (A-9) • Site Plan by Cotleur & Hearing stamp-dated December 20, 2023 (2 pages) • Landscape Plan by Cotleur & Hearing stamp-dated December 20, 2023 (2 pages) • Tree Disposition Plan by Cotleur & Hearing stamp-dated December 20, 2023 • Site Drainage Plan by J-W Engineering, Inc. stamp dated December 20, 2023 (C-1) • Architectural Plans and Elevations by MB Design Associates, Inc. stamp-dated December 20, 2023 (A-1, - A-7, E-1-2, P-3) • Autoturn by Kimley Horn stamp-dated December 20, 2023 (T-01-03) 	Public Notice: [X] Required [] Not Required Dates: Paper: Mailing [X] Required [] Not Required Notice Distance: _ 500 feet

I. Executive Summary

The subject property is approximately .73 acres with a Commercial Future Land Use (FLU) designation and a C-NB Northlake Blvd Commercial Zoning District zoning designation. The applicant is seeking Site Plan and Appearance approval for the development of new architectural and site improvements to the subject site as well as two (2) waivers for the number of parking spaces provided and the width of the two-way drive aisle. Currently, the site contains a vacant restaurant building. The proposed project is to expand and enhance the existing structure to accommodate a new restaurant tenant. Site improvements will include modifications of the parking area and the addition of new landscaping elements.

II. Site Data

Existing Use:	Vacant restaurant building
Proposed Use:	New restaurant
Parcel Control Numbers:	68-43-42-16-07-000-0160
Parcel Size:	.73 acres
Existing Future Land Use Designation:	Commercial (CM)
Existing Zoning District:	Northlake Blvd. Commercial District (C-NB)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Single Family	Low density Residential	Single Family Dwelling District (R-1)
<i>South</i>	Cash American Pawn	Commercial (Lake Park)	C-1 Business District (Lake Park)
<i>East</i>	Vacant Commercial Building	Commercial (C)	Northlake Blvd. Commercial District (C-NB)
<i>West</i>	Cohen Commercial Real Estate Broker	Commercial (C)	Northlake Blvd. Commercial District (C-NB)

III. Annexation/Zoning History

A 1,750 square foot restaurant was built in 1972 in accordance with North Palm Beach guidelines in existence at the time. The site presently contains a vacant building which was used as a restaurant known as Nonna Maria. The Nonna Maria restaurant opened in 2003 and due to the economic climate, it closed within the last year.

IV. Applicable Code Provisions:

Sec. 6-56 through 6-50 pertaining to Site Plan and Appearance Review

Sec. 6-110 through 6-118 pertaining to sign regulations

Sec. 45-35.3 pertaining to the C-NB Northlake Blvd Commercial District

Sec. 45-81 -82 through 45-84-92 pertaining to landscaping

Appendix A – pertaining to the Appearance Plan

V. Summary of Proposed Site and Development Plan Details:

The petitioner's site and development plan documents consist of:

- a. Justification Statement
- b. Traffic Performance Statement by Kimley-Horn and stamp-dated December 20, 2023
- c. Boundary Survey by Nexgen Surveying ,LLC stamp-dated December 20, 2023
- d. Photometrics Lighting Plan by MB Design Associates stamp-dated December 20, 2023 (A-9)
- e. Site Plan by Cotleur & Hearing stamp-dated December 20, 2023 (2 pages)
- f. Landscape Plan by Cotleur & Hearing stamp-dated December 20, 2023 (2 pages)
- g. Tree Disposition Plan by Cotleur & Hearing stamp-dated December 20, 2023
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- i. Architectural Plans and Elevations by MB Design Associates, Inc. stamp-dated December 20, 2023 (A-1, - A-7, E-1-2, P-3)
- j. Autoturn by Kimley Horn stamp-dated December 20, 2023 (T-01-03)

VI. Staff Analysis:

Request

The current petition is for Site Plan and Appearance Amendment approval for the following:

1. Expanding the existing building by 1,334 square feet
2. Including an outdoor dining area of 500 square feet
3. Total seating capacity (inside and outside) of fifty-four (54) seats
4. Revised architecture to all four elevations of the building
5. New signage
6. Modifications to the existing landscape buffers
7. Increase of two-way drive aisle from 14' to 20'
8. Decrease in parking spaces from 26 to 24 parking spaces.

Waivers

Requirements for Waiver Approval:

The request is for Site Plan and Appearance approval with two waivers. The C-NB Zoning District regulations allow the Planning, Zoning and Adjustment Board to grant waivers to certain

development standards without the need for Village Council approval. The intent of allowing waivers in a site plan is similar to the same allowance within Planned Unit Developments, namely, to allow flexibility in design in exchange for better outcomes. Section 45-51.1 of the Village Code states as follows: “In the C-MU and C-NB zoning districts, waivers may be requested from certain regulations in this Code. An applicant requesting a waiver shall demonstrate that the waiver provides a public benefit, including, by way of example, high-quality architectural design, pedestrian amenities, no cost dedication of rights-of-way, construction of public parking, public art or other improvements adjacent to the property, preservation of environmentally-sensitive lands, provision of public parks and/or open spaces, or mixed uses which reduce impacts on village services.”

The proposed project provides what would be considered a “public benefit.” The project is modifying its site layout to make movement through the site safer and more efficient. First, by increasing the width of the drive aisle, it will allow the potential of two cars to use the drive aisle at the same time. This will allow public safety to address an emergency with a quicker response and turnaround time than what is presently there. Further, by eliminating the angled parking spaces and replacing them with parallel parking spaces, it will make the site safer for pedestrians and vehicles, since they may not be seen when a vehicle is backing up. This configuration will also allow the applicant to provide landscaping to enhance the site given the design constraints of the lot size.

Analysis of Waivers Requested:

The applicant is requesting two (2) waivers from code provisions in the table and further described in detail below:

WAIVER No.	CODE SECTION	REQUIREMENT	PROPOSED	WAIVER
W.1	Sec. 45-33.E	Restaurants, one (1) space for each seventy-five (75) square feet of floor area devoted to patron use, or one (1) space per three (3) fixed seats, whichever is the greater, and one (1) space for each one and one-half (1½) projected employees who would be actually working during peak employment hours.	24 parking spaces	Reduction in two (2) parking spaces
W.2	Sec. 45-36(J)(a)	For commercial uses, two-way accessways shall be twenty-four (24) feet and may be wider only on county and state roads, subject to approval by county and state transportation officials.	Twenty (20) feet	Reduction by four (4) feet

The Applicant has provided detailed explanations for why the requested waivers are consistent with the waiver standards enumerated within Section 45-51 of the Village Code of Ordinances. This information can be found in the applicant’s justification statement.

Staff is supportive of the requested waivers since the site layout will operate safer and bring the site closer to compliance with existing Code regulations.

On June 14, 2023, the Development Review Committee reviewed this petition, reviewed two resubmittals in August, September and November and recommended approval.

Development Review Committee Comments:

Planning and Zoning.	Incorporated into the staff report.
Traffic Engineering	Incorporated into the staff report
Civil Engineering	Incorporated into the staff report
Building Division:	Incorporated into the staff report.
Fire Rescue Department:	Incorporated into the staff report
Public Works Department:	Incorporated into the staff report.
Police Department	No comments.

Other Agencies:

PBC Traffic Division:	Performance Standard is met.
Seacoast Water Utilities:	Service is presently available. A no objection letter from Seacoast will be required prior to issuance of a building permit.
SFWMD:	A no objection letter from SFWMD will be required prior to issuance of a building permit.

Standards and Staff Findings:

1. Minimum Lot Requirements:	Project lot area of .73 acres
2. Height Restrictions:	The maximum building height of one story does not exceed the maximum allowable height of four stories.
3. Off-Street Parking and Loading:	The 24 parking spaces provided does not meet the minimum Code requirement of 26 spaces. A waiver is being requested for the two (2) parking spaces.
4. Landscaping:	The landscaping plan complies with the landscape requirements of the Code.
5. Sign Regulations:	Permits shall be obtained prior to installation of any signs.
6. Utilities:	The proposed water, sanitary sewer, and drainage systems will meet Code requirements subject to final permitting.

7. Concurrency Considerations: Project traffic will be required to meet traffic concurrency. Water and sewer service and capacities **are available** to serve the site.
8. Comprehensive Plan Considerations: The proposed use **is consistent** with the C-NB Commercial Zoning District.
9. Color Scheme: The color of the buildings **shall be** in accord with the site and development plans submitted.

VII. Staff Recommendation:

Approval of P&Z#2023-0981 with the following conditions:

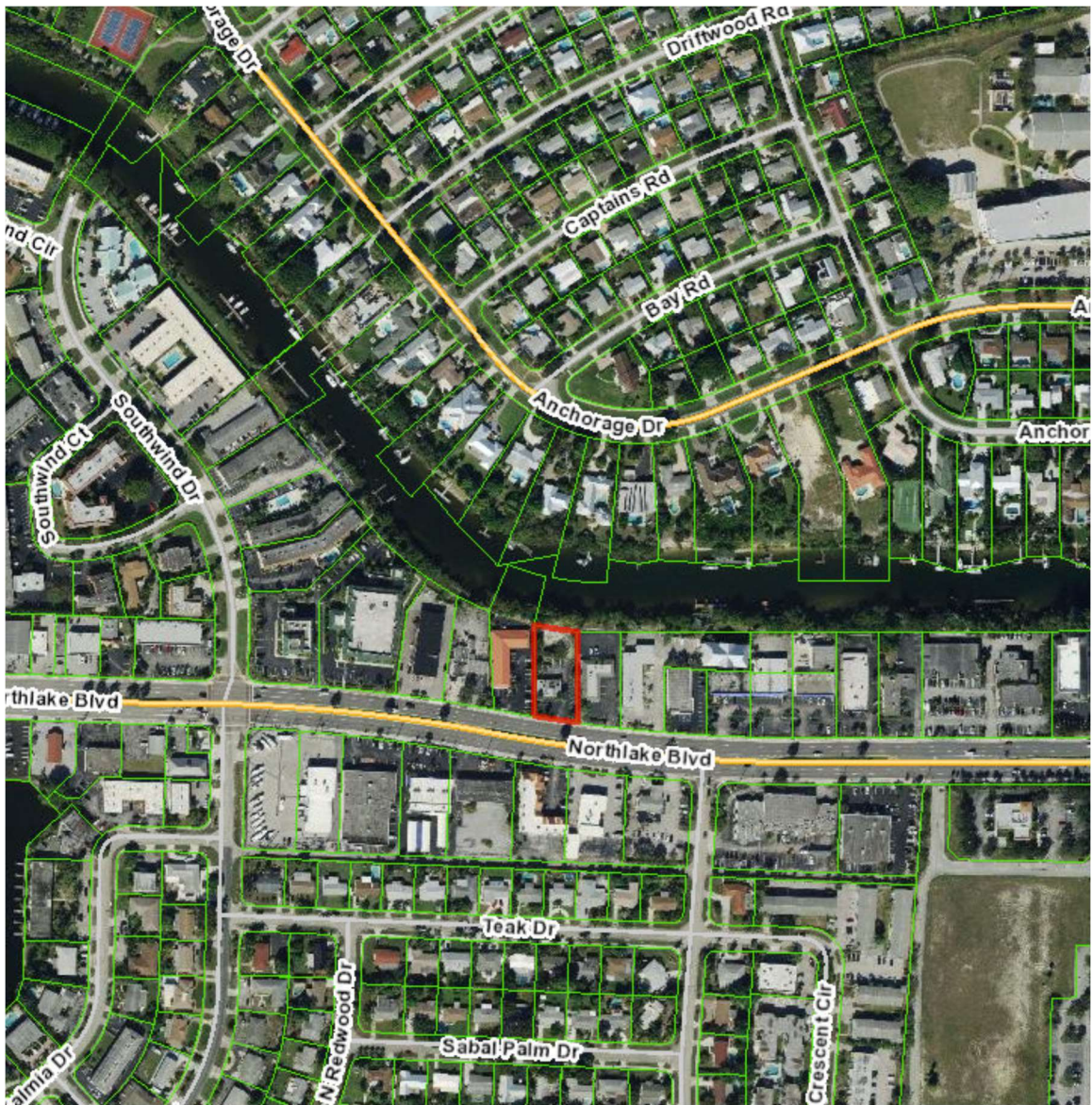
- A. The most stringent requirements of Exhibit “A” Development Review Committee Report and Recommendation dated December 11, 2023, and strict compliance with the Exhibits listed below, which are attached hereto and made part hereof as Exhibit “B”:
- a. Justification Statement
 - b. Traffic Performance Statement by Kimley-Horn and stamp-dated December 20, 2023
 - c. Boundary Survey by Nexgen Surveying ,LLC stamp-dated December 20, 2023
 - d. Photometrics Lighting Plan by MB Design Associates stamp-dated December 20, 2023 (A-9)
 - e. Site Plan by Cotleur & Hearing stamp-dated December 20, 2023 (2 pages)
 - f. Landscape Plan by Cotleur & Hearing stamp-dated December 20, 2023 (2 pages)
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 - j. Autoturn by Kimley Horn stamp-dated December 20, 2023 (T-01-03)
- B. Prior to the issuance of the first infrastructure permit, the Applicant shall provide the Village with a performance bond, letter of credit, escrow agreement or other acceptable surety agreement in a form approved by the Village Attorney and in an amount approved by the Community Development Director to ensure completion of on-site roadway, drainage, and utility improvements. As improvements are completed and accepted by the Village, the amount of the performance bond, letter of credit, escrow agreement or other acceptable surety may be reduced by a proportionate amount as determined by the Village Manager in consultation with the Community Development Director when requested by the Applicant. (Planning and Zoning)
- C. A permit shall be obtained from Seacoast Utility Authority prior to the first building permit. (Planning and Zoning)

- D. Permits from the South Florida Water Management District and the Village of North Palm Beach, as required, for the storm water management system must be obtained prior to the issuance of building permits. (Engineering and Planning and Zoning)
- E. Prior to the issuance of building permits, drainage calculations must be provided demonstrating that the required water quality and quantity volumes needed for the site can be met. Standard exfiltration trench calculation, drainage pipe sizing calculations, and flood routing calculations for the appropriate storm events must also be included. (Engineering and Planning and Zoning)
- F. Permits from the Health Department for the water and sewer system must be obtained prior to issuance of building permits. (Engineering and Planning and Zoning)
- G. All roof top equipment shall be screened on all four sides consistent with the architecture of the building; no equipment shall be taller than the proposed screening. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened on all four sides; no equipment shall be taller than the proposed screening. (Planning and Zoning)
- H. In accord with the requirements of the National Pollution Discharge Elimination System (NPDES), a Storm Water Pollution Prevention Plan, Owner/Operator Certification, and Notice of Intent shall be submitted and accepted by the Village prior to the issuance of building permits. (Building and Public Works)
- I. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Additions to the landscaping plan may be necessary to meet Code requirements if existing material to remain is unsuitable for buffer purposes. (Planning and Zoning)
- J. All new utilities shall be provided underground. Appurtenances to these systems, which require above-ground installation, must be effectively screened from view. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the Village. (Engineering and Planning and Zoning)
- K. All existing trees shown to remain on the approved landscape plans shall be maintained in perpetuity. In the event they should die, they shall be replaced with like species of a size and quantity. (Planning and Zoning)
- L. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of December 31, 2028, unless a revised traffic study with a later build-out date has been approved by the County and a copy of the approval provided to the Village of North Palm Beach. (Planning and Zoning)
- M. Prior to issuance of the first building permit for vertical construction, the Applicant shall revise plans to provide details of lighting fixtures that utilize dark-sky friendly techniques where feasible. (Planning and Zoning)
- N. The dumpster enclosure walls shall match the finish, color and design elements of the building walls and trim. At a minimum, the dumpster enclosure gates shall be solid 3/4"

- deep galvanized corrugated 22-gauge steel matching the building color. (Planning and Zoning)
- O. A bicycle rack accommodating a minimum of 4 bikes shall be provided. (Planning and Zoning)
 - P. No outdoor speakers shall be permitted. (Planning and Zoning)
 - Q. The site plan shall be revised as necessary to reflect all conditions of approval and re-submitted prior to the issuance of building permits. (Planning and Zoning).
 - R. Any deviations to the approved site plan shall be governed by Section 6-59(4) of the Village Code of Ordinances. (Planning and Zoning)
 - S. Non-compliance with any of the conditions of approval will result in the Village withholding the issuance of any building permits or any Certificates of Occupancy. (Planning and Building)
 - T. The conditions of approval shall be binding on the Applicant and its successors in interest and assigns and a violation of such conditions shall constitute a violation of the Village Code of Ordinances and may be enforced by the Village as set forth in Article VI, Chapter 2 of the Village Code or as otherwise authorized by law. (Planning and Zoning)
 - U. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the “Village of North Palm Beach.” (Planning and Zoning)
 - V. The Applicant shall be bound by all oral and written representations made both on the record and as part of the application process irrespective of whether such representations are included as formal conditions.

PLANNING AND ZONING ADJUSTMENT BOARD ACTION– January 2, 2024

LOCATION MAP



Sushi Jo & Bistro

Site Plan Amendment

December 12, 2023

Project Control Number (PCN) 68-43-42-16-07-000-0160

Legal Description: NORTH PALM BEACH VILLAGE OF UNREC LTS 16 & 16A

Introduction

Northlake 529, LLC, as the property owner and applicant, is seeking site plan approval for the development of new architecture and site improvements on the approximately 0.73-acre subject property. Currently, the site contains a vacant restaurant building. The proposed project aims to expand and enhance the existing structure to accommodate a new restaurant tenant. Site improvements will include modifications to the parking area and the introduction of new landscaping elements. The subject property is located on the north side of Northlake Boulevard, approximately 0.4 miles west of US 1. To assist in the review process, a location map has been included with this application.

Project Contact

Cotleur & Hearing
Donaldson Hearing, Principal
Zach Ciciera, Planner
1934 Commerce Lane, Suite 1
Jupiter, FL 33458
Phone: (561) 747-6336 x135
E-mail: zciciera@cotleur-hearing.com

Land Use and Zoning

The subject property has a zoning designation of Northlake Boulevard Commercial District (C-NB), and the Future Land Use Designation is Commercial (C). The property is surrounded by a real estate broker to the west, a vacant commercial building to the east, the C-17 canal and a single-family neighborhood to the north, and Northlake Boulevard with a pawn shop to the south. This petition will not result in changes to the land use or zoning designations.

Surrounding Properties			
Direction	Project	Land Use	Zoning
North	Single Family – Beyond C-17 Canal)	Low Density Residential	R-1 Single Family Dwelling District
South	Cash America Pawn – Beyond Northlake Boulevard	Commercial – Town of Lake Park	C-1 Business District – Town of Lake Park
West	Cohen Commercial Real Estate Broker	C- Commercial	C-NB – Northlake Boulevard Commercial District
East	Vacant Commercial Building	C- Commercial	C-NB – Northlake Boulevard Commercial District

Request

This administrative amendment seeks a site plan amendment to accommodate the establishment of a new restaurant on the subject property. Currently, the property includes a vacant restaurant space measuring approximately 1,714 square feet, previously occupied by Nonna Maria Italian. The proposed plan involves utilizing the existing building while expanding it by an additional 1,334 square feet, resulting in a total area of 3,048 square feet. Additionally, the expansion will incorporate 500 square feet of outdoor dining space. The new restaurant, Sushi Jo and Bistro, will fully occupy the building and provide a seating capacity of 54 seats, encompassing both indoor and outdoor seating options.

The existing two-way access points from Northlake Boulevard into the property will remain unaltered. Furthermore, to maximize available space, the existing angled parking along the eastern property line will be extended northward and modified to parallel spaces, allowing for 20-feet of drive aisle width as opposed to the existing 14-foot drive aisle. Parking requirements are calculated based on the standard of 1 space per 3 fixed seats and 1 space per 1.5 employees. With a project that includes 54 seats and 12 employees, a total of 26 parking spaces are required. The proposed plan provides 24 parking spaces, as referenced in the attached waiver request.

Architecture and Signage

The proposed architecture entails a comprehensive renovation and expansion of the existing restaurant building to accommodate the new tenant. All four elevations of the building will undergo enhancements, including the incorporation of banded stucco features and the replacement of the current parapet with a new one. The plan also involves the installation of a charcoal gray metal roof. The building's primary color scheme will feature Dune White stucco walls with Paddington Blue trim. The main entry to the building will be located on the southeast corner and will be adorned with an enhanced architectural feature to create an inviting focal point.

New building wall signage is proposed on the south elevation, facing Northlake Boulevard. The street-facing wall sign will encompass a total copy area of 36 square feet. It should be noted that the existing monument sign situated on the southeast corner of the property, facing Northlake Boulevard, will be retained, but updated with new language to reflect the new tenant. Overall, these architectural and signage enhancements aim to transform the building into an aesthetically appealing and easily identifiable establishment, enhancing its presence within the community.

Landscape

The landscape plan proposes preservation of several existing trees and shrubs, while incorporating new landscape elements to enhance the site. Specifically, the landscape areas facing Northlake Boulevard, near the outdoor seating, will be enhanced with the addition of a Sylvester palm, triple Christmas palms, and a specimen strangler fig. Along the eastern elevation of the building, double Alexander palms will be planted, complemented by dwarf schefflera groundcover.

The existing clusia hedge on the west property boundary and the existing cocoplum hedge on the east property boundary will be retained. To ensure a cohesive and visually pleasing boundary, new plantings of the same species will be added to fill any gaps while providing effective screening from neighboring properties. Additionally, the existing seagrape along the canal will be preserved and further enhanced by incorporating groundcover, silver buttonwood, and a royal poinciana tree relocated from on site. These landscape enhancements aim to create an aesthetically appealing environment, incorporating a mix of existing and new elements that harmonize with the surroundings. The selection of appropriate plant species will contribute to the overall visual appeal of the site while providing functional benefits such as screening, shade, and accent features.

Waivers

As a part of this application, the applicant is requesting (2) waivers to the Village Code. Given the site's existing 14-foot drive aisle off Northlake Boulevard, the angled parking along the east property boundary has been modified to create parallel spaces. This modification allows the applicant to expand the drive aisle to 20-feet wide, allowing for the maximum amount of width possible considering the existing conditions, yet unfortunately still not in compliance with the required 24-foot two-way aisle width. The modification of the parking spaces results in the loss of 2 total parking spaces, thus the site becoming 2 spaces under the minimum required parking per Village Code. After numerous revisions to the site plan and meetings with Village staff, it is apparent that this change is necessary given the existing two-way drive aisle, and there is simply not enough area to comply with both provisions simultaneously.

A. The extent to which the alternate standard proposed by the applicant differs from the code's standard that would be waived.

The applicant is proposing to improve the existing drive aisle from 14 feet to 20 feet. The Village code requires a two-way drive aisle to be 24-feet in width, however, given the existing conditions this is simply not possible. The applicant has worked collaboratively with staff to address the drive aisle concerns and it has been determined throughout the site design process that the proposed 20-feet is the maximum width the site will allow.

As a result of expanding the drive aisle, the adjacent parking spaces have been transformed into parallel spaces, thus removing 2 spaces. We are proposing 24 total parking spaces, under the required 26 spaces pursuant to Village code.

B. Whether the granting of the waiver will lead to innovative design in which other minimum standards are exceeded.

The existing site is nonconforming to various code requirements. The applicant has tirelessly worked with staff towards finding a solution, thus bringing the site up to minimum code requirements. Granting both proposed waivers will enhance the site given the design constraints of the lot size and current site layout.

C. Whether the request clearly demonstrates the public benefits to be derived.

A significant benefit to public safety is demonstrated through expanding the existing drive aisle. Currently, the two-way drive aisle is 14-feet wide causing a significant hazard to public safety, especially located along a major arterial roadway Northlake Blvd. Expanding the drive aisle to 20-feet will provide a positive impact to ingress and egress, circulating on-site traffic flow. Additionally, changing the parking spaces along the east property boundary to parallel spaces will reduce potential stacking issues as drivers no longer need to reverse into the drive aisle to exit their space.

D. Whether the request furthers the goals of the village master plan, and exemplifies the architectural, building, and site design techniques desired within the Village's Appearance Plan.

Many of the existing properties along Northlake Boulevard are nonconforming, primarily due to lot size restrictions and existing building footprints. Granting of the proposed waivers, along with the proposed site and building improvements will significantly enhance the property, thus aligning with the Village's vision for the Northlake corridor.

E. Any unusual circumstances regarding the property or immediate area, including the location of power lines, specimen trees, or shade trees.

As mentioned in the previous response (D.), the existing site is nonconforming given the small lot size and current building location.

F. The effect of approving or denying the waiver on the development project and on the surrounding area.

Granting of the proposed waivers will allow the nonconforming site to be brought into compliance due to the various nonconformities present, and the additional waivers are necessary to effectively enhance the property. This will set a standard for the entire corridor, demonstrating to surrounding similar properties that a solution can be achieved to enhance a site despite the significant lot size restrictions. In turn, this will drive further development of the corridor.

G. Consistency with the comprehensive plan.

The proposed waivers are consistent with the intent of the Northlake Boulevard district and conform to the goals, objectives, and policies set forth in the Village comprehensive plan.

H. How the proposed waiver provides a public benefit.

As previously described in response C., expanding the existing drive aisle provides a significant public benefit specific to the site and traffic circulation.

I. How the proposed waiver does not detract from the design principles supporting the zoning district where the property is located and the broader intent of the Code.

Throughout the site design process, the applicant has collaboratively worked alongside staff to provide thorough architectural enhancements to the building façade and supplemental landscaping, conforming with Village code.

J. The proposed waiver meets the intent of the Northlake Boulevard regulations adopted concurrently by the village, county, Town of Lake Park, and City of Palm Beach Gardens.

The applicant has worked tirelessly with Village staff since May of 2023 to conform with the requirements of the Northlake Boulevard district while maximizing the redevelopment potential of the site. Now, the layout of the site and aforementioned modifications to the parking area allow adequate access for not only customers but also emergency vehicles. The building's architecture has been revised numerous times to include additional ornamentation and an appropriate color palette consistent with the district. This project now meets the requirements of the Northlake Boulevard district as well as the requirements for a waiver request as part of this site plan application.

Conclusion

In summary, this proposal seeks site plan approval for the establishment of a new restaurant on the subject property. The existing vacant restaurant building will be renovated and expanded to accommodate the new tenant, resulting in a total area of 3,048 square feet, including 500 square feet of outdoor dining space. The restaurant, Sushi Jo and Bistro, will feature a seating capacity of 54 seats, both indoors and outdoors. The site plan includes modifications to the parking layout, ensuring efficient ingress and egress as opposed to the existing conditions of the site. The landscape plan incorporates a combination of existing and new elements, preserving

select trees and shrubs while introducing enhancements to beautify the surroundings. This comprehensive project aims to revitalize the property, creating an inviting and visually appealing establishment that seamlessly integrates with the existing landscape and surrounding neighborhood. Thank you for your time and consideration.

April 27, 2023
Revised

Rebecca Ortiz
Cotleur & Hearing
1934 Commerce Lane, Suite 1
Jupiter, Florida 33458

RE: ***Sushi Jo***
Traffic Performance Standards Statement
North Palm Beach, Florida
Kimley-Horn #

Dear Rebecca:

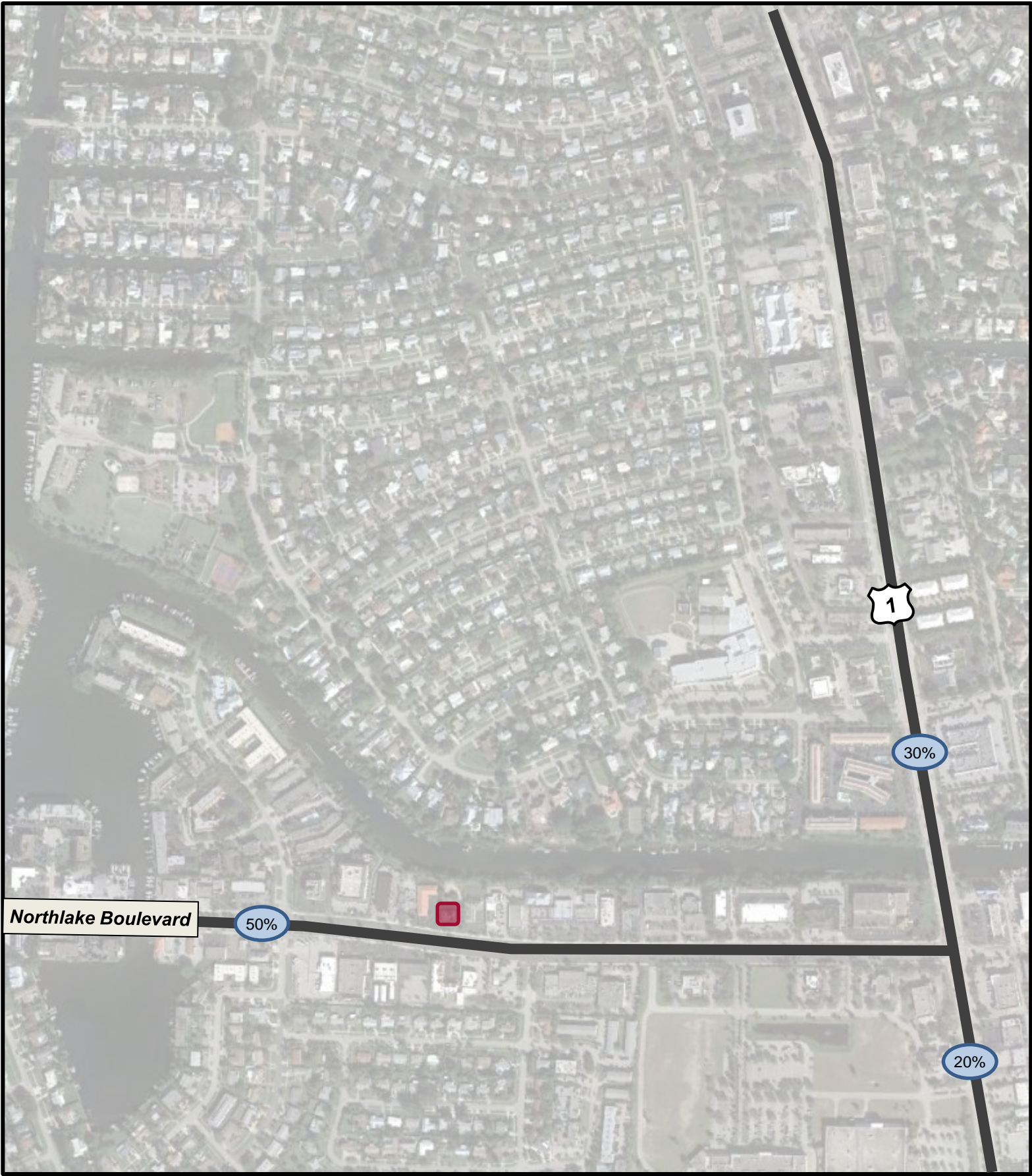
Kimley-Horn and Associates, Inc. has been retained to perform a traffic evaluation for the proposed development of the site located at 529 Northlake Boulevard in North Palm Beach, Florida (see Figure 1). The project site is currently a restaurant, and the proposed development consists of a 1,334 square foot restaurant expansion, with 500 square feet of outdoor seating and 140 square feet of walk-in cooler space. The Parcel Control Number for the site is 68-43-42-16-07-000-0160. This analysis was conducted to evaluate compliance with the Traffic Performance Standards (TPS) of Palm Beach County, as defined in Article 12 of the County's Unified Land Development Code. (ULDC)

TRIP GENERATION DETERMINATION

A trip generation determination was prepared to determine the potential impacts of the proposed redevelopment. Rates and equations published by Palm Beach County Traffic Division, which are based on *ITE Trip Generation Manual 11th Edition* for High Turnover Sit-Down Restaurant, were used for the daily, AM peak hour, and PM peak hour trip generation calculations for the existing and proposed site. As shown in Table 1, the proposed redevelopment will result in an increase of 120 net new external daily trips, 11 net new external AM peak hour trips (+6 inbound, +5 outbound), and 10 net new external PM peak hour trips (+5 inbound, +5 outbound).

Table 1: Trip Generation Calculations

Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
Existing Scenario >5 Years								
High Turnover Sit-Down Restaurant	1.714 ksf	184	16	9	7	16	10	6
	Subtotal	184	16	9	7	16	10	6
Pass-By Capture								
High Turnover Sit-Down Restaurant	43.0%	79	7	4	3	7	4	3
	Subtotal	79	7	4	3	7	4	3
Driveway Volumes		184	16	9	7	16	10	6
Net New External Trips		105	9	5	4	9	6	3
Proposed Scenario								
High Turnover Sit-Down Restaurant	3.688 ksf	395	35	19	16	33	20	13
	Subtotal	395	35	19	16	33	20	13
Pass-By Capture								
High Turnover Sit-Down Restaurant	43.0%	170	15	8	7	14	9	5
	Subtotal	170	15	8	7	14	9	5
Driveway Volumes		395	35	19	16	33	20	13
Net New External Trips		225	20	11	9	19	11	8
Proposed Net External Trips-Existing Net New External Trips		120	11	6	5	10	5	5
Radius of Development Influence:		Directly Accessed Links						
Land Use	Daily	AM Peak Hour			PM Peak Hour			Pass By
High Turnover Sit-Down Restaurant	107.2 trips/ksf	9.57 trips/ksf (55% in, 45% out)			9.05 trips/ksf (61% in, 39% out)			43.0%



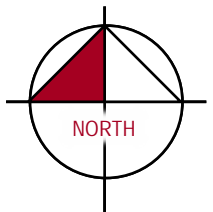
Northlake Boulevard

1

30%

20%

50%



LEGEND
Site Location



50% Traffic Assignment

FIGURE 1

Sushi Jo
KH # 040674028
Site Location

SIGNIFICANCE ANALYSIS

Based on the traffic generation for this site, it was determined that the radius of developmental influence (RDI) for this project is the directly accessed links. The project traffic was distributed across the links within the RDI based on the distribution illustrated in Figure 1, to determine if the addition of project traffic will significantly impact the roadway links based on Palm Beach County TPS methodology.

Table 2 and Table 3 summarize the AM peak hour and PM peak hour significance analyses, respectively.

Table 2: Test 1 AM Peak Hour Significance Analysis

ROADWAY	FROM	TO	EXISTING NUMBER OF LANES	LOS D GENERAL SVC. VOLUME	PROJECT % ASSIGNMENT	NB/EB IN/OUT?	PROJECT TRIPS					
							AM PEAK HOUR					
							TRIPS		% IMPACT			
							NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?
Northlake Boulevard	Prosperity Farms Road	Project Driveway	6LD	2,940	100%	1	6	5	0.20%	No	0.17%	No
Northlake Boulevard	Project Driveway	Federal Highway	6LD	2,940	100%	0	5	5	0.17%	No	0.20%	No

Table 3: Test 1 PM Peak Hour Significance Analysis

ROADWAY	FROM	TO	EXISTING NUMBER OF LANES	LOS D GENERAL SVC. VOLUME	PROJECT % ASSIGNMENT	NB/EB IN/OUT?	PROJECT TRIPS					
							PM PEAK HOUR					
							TRIPS		% IMPACT			
							NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?
Northlake Boulevard	Prosperity Farms Road	Project Driveway	6LD	2,940	100%	1	5	5	0.17%	No	0.17%	No
Northlake Boulevard	Project Driveway	Federal Highway	6LD	2,940	100%	0	5	5	0.17%	No	0.17%	No

As shown in the tables above, none of the analyzed links are expected to be significantly impacted by the addition of project traffic. Therefore, no further analysis is required.

DRIVEWAY CLASSIFICATION

Access to the site is proposed to be maintained via a right-in/right-out driveway on Northlake Boulevard, east of Southwind Drive & Northlake Boulevard intersection. According to the Palm Beach County "Guide to Parking Lot and Street Access Design Criteria and Standards", it is necessary to classify project driveways as minor, intermediate or major according to the following criteria:

- Minor – Services a maximum daily volume of 500 vehicles.
- Intermediate – Services a daily volume ranging from 501 to 2000 vehicles.
- Major – Services a daily volume of more than 2000 vehicles.

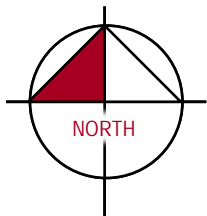
Figure 2 illustrates the expected project traffic driveway volumes for the site driveway after full buildout. Using the above criteria, the driveway is classified as minor.

TURN LANE REQUIREMENTS

The Palm Beach County "Guide to Parking Lot and Street Access Design Criteria and Standards" provides guidance on the provisions of turn lanes at site driveways. According to the standards noted in this document, the volume thresholds for providing exclusive turn lanes are as follows:

- Right Turn Lane: 75 peak hour right turns, with driveway volumes that exceed 1,000 trips per day and average
- Left Turn Lane: 30 peak hour left turns

Based on these requirements, and the configuration of the existing driveways, the criteria for additional turn lanes are not met at the project driveway.



LEGEND

Inbound / Outbound Movement
AM (PM) Peak Hour Trip

FIGURE 2

Sushi Jo
KH # 040674028
Driveway Volumes

Kimley»Horn

CONCLUSION

Kimley-Horn and Associates, Inc. has prepared a traffic study to evaluate the potential impact of the proposed expansion of the project site located at 529 Northlake Boulevard in North Palm Beach, Florida. The proposed redevelopment includes an expansion of the existing restaurant. As shown in the analysis, the site meets the TPS requirements defined in Article 12 of the Palm Beach County Unified Land Development Code, and no turn lanes are required or recommended at the site driveway.

Please contact me via telephone at (561) 840-0874 or via e-mail at adam.kerr@kimley-horn.com should you have any questions regarding this evaluation.

Sincerely,

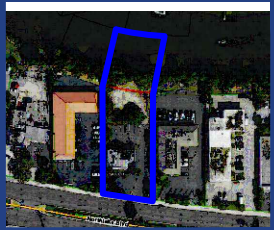
KIMLEY-HORN AND ASSOCIATES, INC.

Adam B. Kerr, P.E.
Transportation Engineer

Florida Registration
Number 64773
Registry No. 35106

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APPENDIX



LOCATION MAP
NOT TO SCALE



SCALE: 1"=30'

VILLAGE OF
NORTH PALM BEACH
DEC 20 2023
COMMUNITY DEVELOPMENT
RECEIVED

CERTIFIED TO:
CHARLES SCOTT GUERRIERI REVOCABLE TRUST
OWEN LAW
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

FLOOD ZONE:
12099C0387F
ZONE: X
EFF: 10/05/2017

SURVEY NOTES:
-DRIVEWAY EXTENDS THROUGH SOUTH
BOUNDARY LINE AS SHOWN

LEGEND:

(SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING)

A/C-AIR CONDITIONER	P.O.B.-POINT OF BEGINNING		
WM-WATER METER	P.O.C.-POINT OF COMMENCEMENT		
AL-ARC LENGTH	U.E.-UTILITY EASEMENT		
(C)-CALCULATED	O.R.B.-OFFICIAL RECORDS BOOK		
(M)-MEASURED	SQ.FT.-SQUARE FEET		
P.B.-PLAT BOOK	DB-DEED BOOK(D)-DEED		
PG-PAGE	D.E.-DRAINAGE EASEMENT		
AC-ACRES	P.U.E.-PUBLIC UTILITY EASEMENT		
R-RADIUS(R)	L.A.E.-LIMITED ACCESS EASEMENT		
(P)-PLAT	L.M.E.-LAKE MAINTENANCE EASEMENT		
EOW-EDGE OF WATER	O.H.E.-OVERHEAD EASEMENT		
TOB-TOP OF BANK	ELEV-ELEVATION		
OHL-OVERHEAD LINE	FF-FINISHED FLOOR		
CO-CLEAN OUT	LS-LICENSED SURVEYOR		
	LB-LICENSED BUSINESS		
	PSM-PROFESSIONAL SURVEYOR & MAPPER		
# -NUMBER	-WELL	-FENCE	-LIGHT POLE
-ASPHALT	-WATER VALVE	-PLUS OR MINUS	
-CONCRETE	-CENTER LINE	-POLE	
-PAVER/BRICK	-CATCH BASIN	-MANHOLE	
-WOOD	-FIRE HYDRANT	-TOPOGRAPHIC ELEVATION	

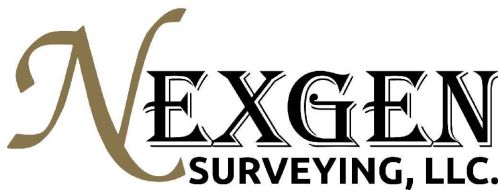
FIELD DATE: 6/29/2022

DRAWN BY: C.C.

ORDER NO: 188544

REVISIONS:

PAGE 1 OF 2



1421 Oglethorpe Road
West Palm Beach, FL 33405
NEXGENSURVEYING.COM
PHONE: 561.508.6272
FAX: 561.508.6309
LB 8111

I HEREBY CERTIFY THAT THIS SURVEY MEETS OR
EXCEEDS THE STANDARDS OF
PRACTICE SET FORTH BY THE FLORIDA
BOARD OF PROFESSIONAL SURVEYORS
AND MAPPERS PER CHAPTER 5J-17,
FLORIDA ADMINISTRATIVE CODE,
PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

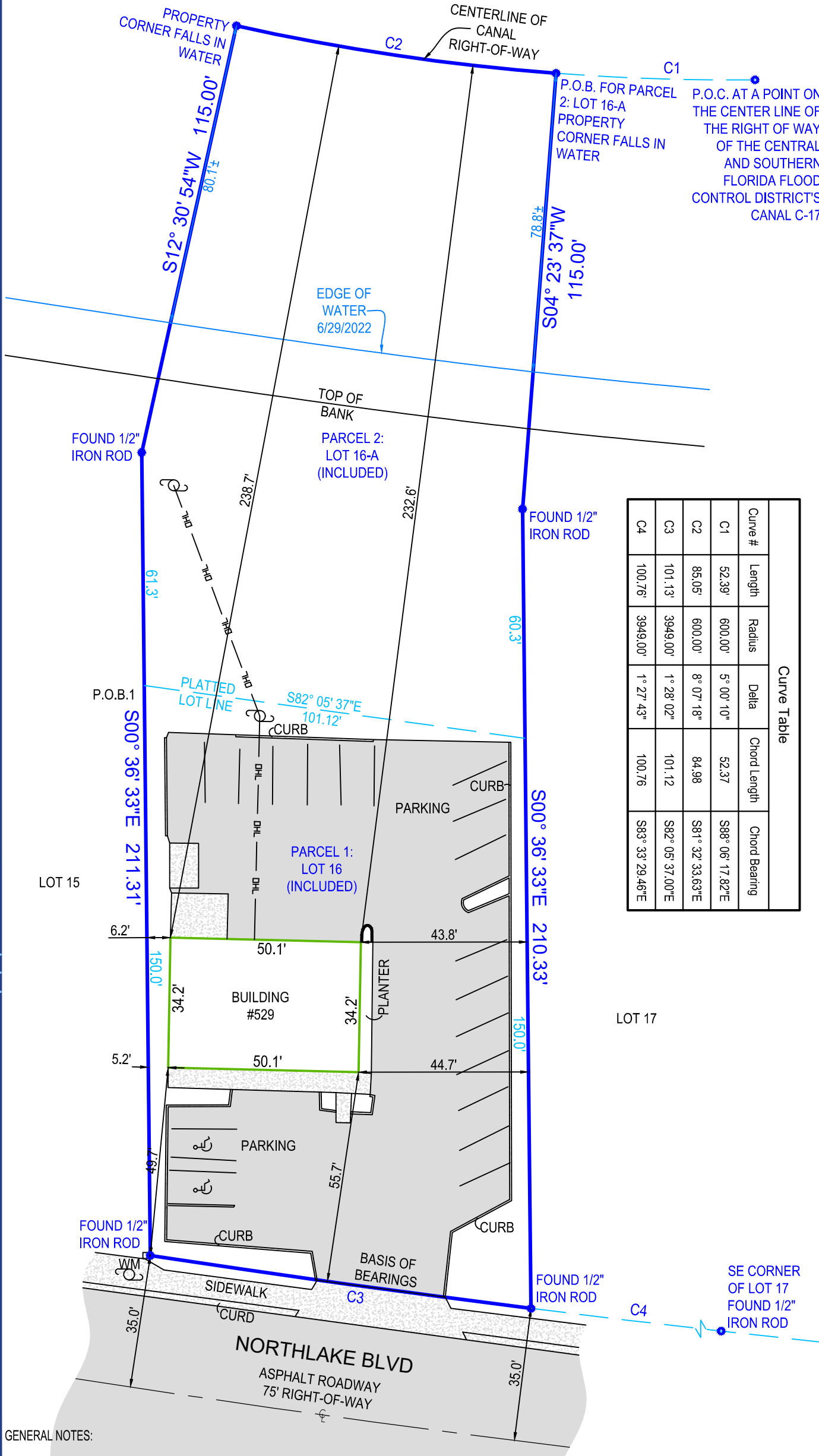
THE SEAL APPEARING ON THIS DOCUMENT
WAS AUTHORIZED BY

CLYDE O. MCNEAL
PSM 2883

ON 06/29/2022

BOUNDARY SURVEY

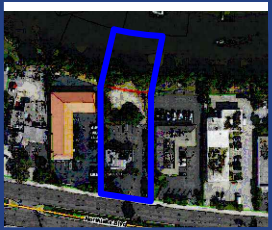
529 NORTHLAKE BLVD, NORTH PALM BEACH, FLORIDA 33408



Curve Table				
Curve #	Length	Radius	Delta	Chord Length
C1	52.39'	600.00'	5° 00' 10"	52.37'
C2	85.05'	600.00'	8° 07' 18"	84.98'
C3	101.13'	3949.00'	1° 28' 02"	101.12'
C4	100.76'	3949.00'	1° 27' 43"	100.76'

GENERAL NOTES:

- THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
- ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)



LOCATION MAP
NOT TO SCALE



SCALE: 1"=30'

BOUNDARY SURVEY

529 NORTHLAKE BLVD, NORTH PALM BEACH, FLORIDA 33408

LEGAL DESCRIPTION:
PARCEL 1:

LOT 16, UNRECORDED, MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PARCEL OF LAND IN THE VILLAGE OF NORTH PALM BEACH P1AT NO. 5, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 26, PAGE 6, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE CENTER LINE OF THE RIGHT-OF-WAY OF THE CENTRAL AND SOUTHERN FLORIDA FLOOD CONTROL DISTRICT'S CANAL C-17, AN SAID RIGHT-OF-WAY IS DESCRIBED IN EASEMENT DEED RECORDED IN DEED BOOK 1156, PAGE 186, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID POINT BEING SOUTH 89° 23' 37" WEST, A DISTANCE OF 1987.31 FEET WESTERLY, MEASURED ALONG SAID CENTER LINE, FROM THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5 (U. S. HIGHWAY NO. 1) AS SAID RIGHT-OF-WAY IS SHOWN ON STATE ROAD DEPARTMENT RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGES 105 TO 118, INCLUSIVE, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID POINT BEING ALSO THE BEGINNING OF A CURVE CONCAVE TO THE NORTH, WHOSE CENTRAL ANGLE IS 13° 07' 27" AND WHOSE RADIUS IS 600 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 137.44 FEET; THENCE SOUTH 12° 30' 54" WEST ALONG A LINE RADIAL TO SAID CURVE, A DISTANCE OF 115 FEET; THENCE SOUTH 0° 36' 33" EAST, A DISTANCE OF 61.31 FEET TO THE BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUE ALONG THE SAME COURSE, A DISTANCE OF 150 FEET TO A POINT IN THE NORTH RIGHT-OF-WAY LINE OF NORTHLAKE BOULEVARD, AS SAID RIGHT-OF-WAY DESCRIBED IN OFFICIAL RECORDS BOOK 178, PAGE 458, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID POINT BEING IN THE ARC OF A CURVE CONCAVE TO THE NORTH WITH A CENTRAL ANGLE OF 1° 28' 02", AND A RADIUS OF 3949 FEET; THENCE EASTERLY ALONG SAID RIGHT-OF-WAY AND THE ARC OF SAID CURVE, A DISTANCE OF 101.13 FEET TO A POINT; THENCE NORTH 0° 36' 33" WEST, A DISTANCE OF 150 FEET; THENCE WESTERLY MAKING AN ANGLE OF 98° 30' 56" WITH THE PRECEDING COURSE FROM SOUTH TO WEST, A DISTANCE OF 101.12 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

LOT 16-A, UNRECORDED, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PARCEL OF LAND IN THE VILLAGE OF NORTH PALM BEACH PLAT NO. 5, ACCORDING TO THE PLOT THEREOF RECORDED IN PLAT BOOK 26, PAGE 6, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE CENTER LINE OF THE RIGHT-OF-WAY OF THE CENTRAL AND SOUTHERN FLORIDA FLOOD CONTROL DISTRICT'S CANAL C-17 AS SAID RIGHT-OF-WAY IS DESCRIBED IN EASEMENT DEED RECORDED IN DEED BOOK 1156, PAGE 186, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID POINT BEING SOUTH 89° 23' 37" WEST, A DISTANCE OF 1987.31 FEET WESTERLY, MEASURED ALONG SAID CENTER LINE, FROM THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 5 (U. S. HIGHWAY NO. 1) AS SAID RIGHT-OF-WAY IS SHOWN ON STATE ROAD DEPARTMENT RIGHT-OF-WAY MAP RECORDED IN ROAD PLAT BOOK 2, PAGES 105 TO 118, INCLUSIVE, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID POINT BEING ALSO THE BEGINNING OF A CURVE CONCAVE TO THE NORTH, WHOSE CENTRAL ANGLE IS 13° 07' 27" AND WHOSE RADIUS IS 600 FEET: THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 52.39 FEET, SAID POINT BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND, THENCE CONTINUE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 85.05 FEET; THENCE SOUTH 12° 30' 54" WEST, ALONG A LINE RADIAL TO SAID CURVE, A DISTANCE OF 115 FEET; THENCE SOUTH 0° 36' 33" EAST, A DISTANCE OF 61.31 FEET, THENCE EASTERLY, MAKING AN ANGLE OF 98° 30' 56" WITH THE PRECEDING COURSE, FROM NORTH TO EAST, A DISTANCE OF 101.12 FEET; THENCE NORTH 0° 36' 33" WEST, MAKING AN ANGLE OF 81° 29' 04" WITH THE PRECEDING COURSE, FROM WEST TO NORTH, A DISTANCE OF 60.33 FEET; THENCE NORTH 4° 23' 37" EAST, A DISTANCE OF 115 FEET TO THE POINT OF BEGINNING.

CERTIFIED TO:
CHARLES SCOTT GUERRIERI REVOCABLE TRUST
OWEN LAW
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

FLOOD ZONE:
12099C0387F
ZONE: X
EFF: 10/05/2017

SURVEY NOTES:
-DRIVEWAY EXTENDS THROUGH SOUTH
BOUNDARY LINE AS SHOWN

LEGEND:			
(SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING)			
A/C-AIR CONDITIONER	P.O.B.-POINT OF BEGINNING		
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(C)-CALCULATED	O.R.B.-OFFICIAL RECORDS BOOK		
(M)-MEASURED	SQ.FT.-SQUARE FEET		
P.B.-PLAT BOOK	DB-DEED BOOK(D)-DEED		
PG-PAGE	D.E.-DRAINAGE EASEMENT		
AC-ACRES	P.U.E.- PUBLIC UTILITY EASEMENT		
R-RADIUS(R)	L.A.E.-LIMITED ACCESS EASEMENT		
(P)-PLAT	L.M.E.-LAKE MAINTENANCE EASEMENT		
EOW-EDGE OF WATER	O.H.E-OVERHEAD EASEMENT		
TOB-TOP OF BANK	ELEV-ELEVATION		
OHL-OVERHEAD LINE	FF-FINISHED FLOOR		
C/O-CLEAN OUT	LS-LICENSED SURVEYOR		
	LB-LICENSED BUSINESS		
	PSM-PROFESSIONAL SURVEYOR & MAPPER		
# -NUMBER	-WELL	-FENCE	-LIGHT POLE
-ASPHALT	-WATER VALVE	-PLUS OR MINUS	
-CONCRETE	-CENTER LINE	-POLE	
-PAVER/BRICK	-CATCH BASIN	-MANHOLE	
-WOOD	-FIRE HYDRANT	-TOPOGRAPHIC ELEVATION	

FIELD DATE: 6/29/2022

DRAWN BY: C.C.

ORDER NO: 188544

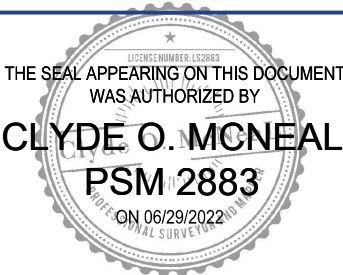
REVISIONS:

PAGE 2 OF 2



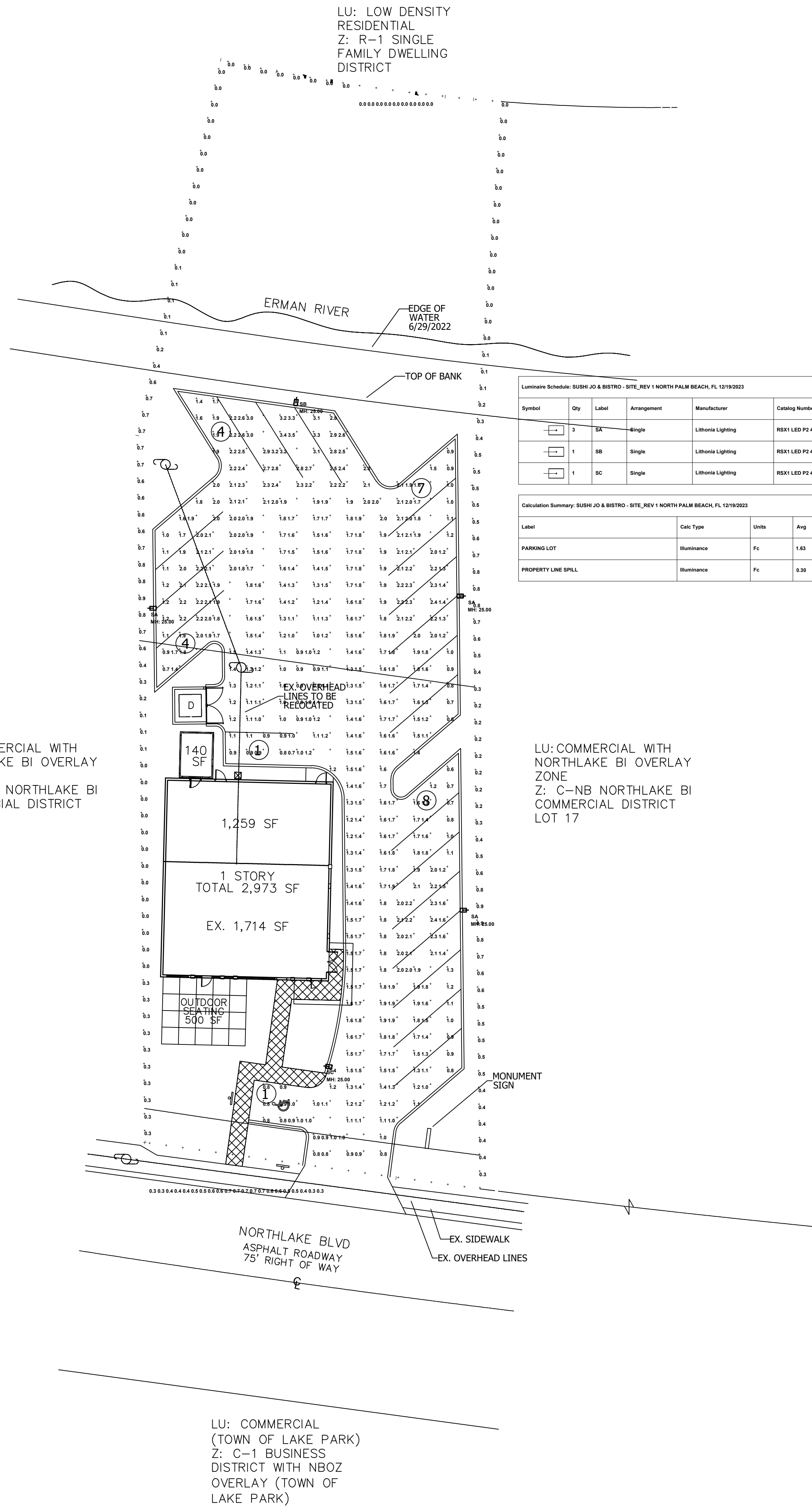
1421 Oglethorpe Road
West Palm Beach, FL 33405
NEXGENSURVEYING.COM
PHONE: 561.508.6272
FAX: 561.508.6309
LB 8111

I HEREBY CERTIFY THAT THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



GENERAL NOTES:

- 1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- 2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
- 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)



Luminaire Schedule: SUSHI JO & BISTRO - SITE_REV 1 NORTH PALM BEACH, FL 12/19/2023

Symbol	Qty	Label	Arrangement	Manufacturer	Catalog Number	Mounting	LLF	Luminaire Lumens	Luminaire Watts	Arrangement Watts
SA	3	SA	Single	Lithonia Lighting	RSX1 LED P2 40K R3 H5	POLE MOUNT A.F.G.	0.903	8900	72.95	72.95
SB	1	SB	Single	Lithonia Lighting	RSX1 LED P2 40K R4	POLE MOUNT A.F.G.	0.903	9972	72.95	72.95
SC	1	SC	Single	Lithonia Lighting	RSX1 LED P2 40K R5	POLE MOUNT A.F.G.	0.903	10154	72.95	72.95

Calculation Summary: SUSHI JO & BISTRO - SITE_REV 1 NORTH PALM BEACH, FL 12/19/2023

Label	Calc Type	Units	Avg	Max	Min	AvgMin	MaxMin
PARKING LOT	Illuminance	Fc	1.63	3.5	0.8	2.72	0.83
PROPERTY LINE SPILL	Illuminance	Fc	0.30	0.9	0.0	N.A.	N.A.

VILLAGE OF
NORTH PALM BEACH
DEC 20 2023
COMMUNITY DEVELOPMENT
RECEIVED



space planning and architecture

MB DESIGN ASSOCIATES, INC.
FLORIDA LICENSE #: AA26000521
P.O. Box 4376
Tequesta, Florida 33469



WILLIAM TRACY, #AR0014756

THE FOLLOWING CODES WERE USED IN THE DESIGN OF THIS PROJECT:
2020 FLORIDA BUILDING CODE 7TH ED.
EXISTING BUILDING, BUILDING, PLUMBING, FUEL GAS, MECHANICAL, TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES, ACCESSIBILITY AND ENERGY
2017 NATIONAL ELECTRICAL CODE NFPA 70
FLORIDA FIRE PREVENTION CODE, 7TH EDITION (INCLUDING NFPA 1, 2012 AND 101, 2012 EDITION) WITH FLORIDA AMENDMENTS

PROJECT NAME/LOCATION:

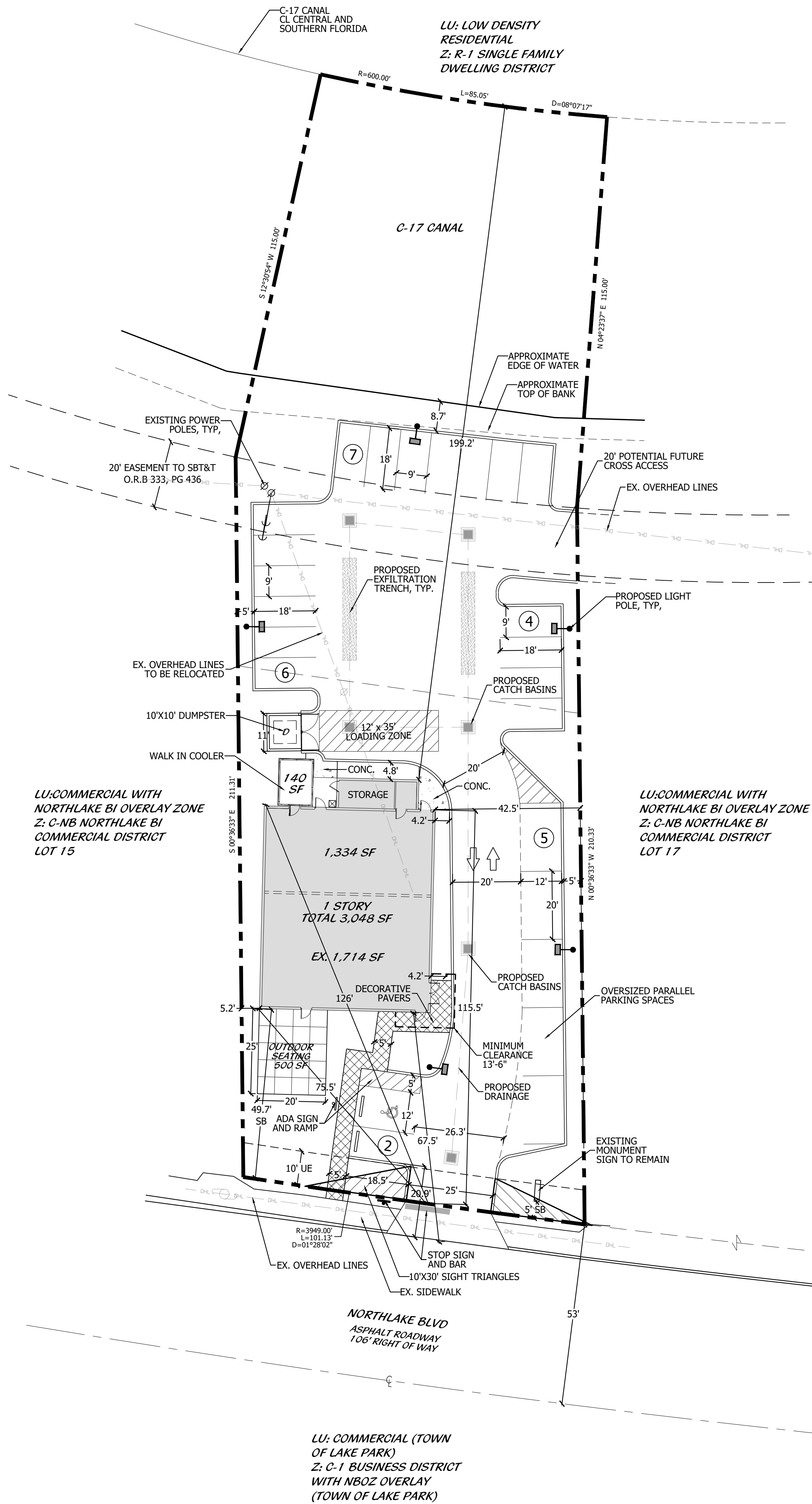
JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:
DATE: 9/6/2023
SCALE: VARIES
DRAWN BY: Paul Davis

ISSUED:
REVISIONS:

SHEET NO:

A-9



GENERAL NOTES

REFUSE SERVICE SHALL BE ACCOMPLISHED BY WAY OF INDIVIDUAL DUMPSTER AND RECYCLING AS SHOWN ON THE SITE PLAN.
10' X 30' SAFE SIGHT TRIANGLE SHALL BE PROVIDED AT THE PROJECTS ENTRY ROADS.
TYPE D OR F RAISED CONCRETE CURBING SHALL BE PROVIDED AROUND ALL PLANTING ISLANDS WITHIN VEHICULAR USE AREAS.
ON STREET PARKING IS UTILIZED IN THE CALCULATION FOR REQUIRED PARKING IN ACCORDANCE WITH THE PROVISIONS OF THE CODE.
RAMPS SHALL BE PROVIDED AT ALL PLAZA, SIDEWALK AND STREET INTERSECTIONS IN ACCORDANCE WITH ADA AND THE FLORIDA HANDICAP ACCESSIBILITY CODE.
ALL A/C UNITS SHALL BE LOCATED TO THE REAR OR SIDE OF ALL BUILDINGS AND FULLY SCREENED ON THREE SIDES WITH LANDSCAPING.
THE BUILDING, LANDSCAPE AND LIGHTING DESIGN SHALL MAXIMIZE THE USE OF CPTD DESIGN PRINCIPLES.
MINIMUM TYPE CONSTRUCTION FOR ALLOWABLE HEIGHT & BUILDING AREA MUST BE COMPLIANCE WITH THE FLORIDA BUILDING CODE T-500 (AFTER OCT. 1, 2005 FBC 2004)
ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF NORTH PALM BEACH CODE.
PROJECT ID SIGNS SHALL BE ILLUMINATED WITH GROUND MOUNTED FIXTURES ON PHOTOCELLS.
STREET LIGHTS TO BE FPL COACH LIGHTS MOUNTED ON 12' TALL POLES. LIGHT LEVELS SHALL NOT EXCEED THE MAXIMUM TO MINIMUM ESTABLISHED IN THE VILLAGE OF NORTH PALM BEACH CODES.

PROJECT TEAM

OWNER/CLIENT:
NORTHLAKE 529 LLC
150 WORTH COURT NORTH
WEST PALM BEACH, FL 33405

LANDSCAPE ARCHITECT/PLANNER:
COTLEUR & HEARING, INC.
1934 COMMERCE LANE, SUITE 1
JUPITER, FL 33458
561.747.6336

ARCHITECT:
MB DESIGN ASSOCIATES, INC.
P.O. BOX 4376
TEQUESTA, FL 33469
561.222.2993

ENGINEER:
J-W ENGINEERING, INC.
20 BALFOUR ROAD WEST
PALM BEACH GARDENS, FL 33418
561.630.3550

SURVEYOR:
DEAN SURVEYING AND MAPPING, INC.
4201 WESTGATE AVENUE, SUITE A3
WEST PALM BEACH FL, 33409
561.625.8748

TRAFFIC CONSULTANT:
KIMLEY HORN
1920 WEKIVA WAY SUITE 200
WEST PALM BEACH, FL 33411
561.845.0665

LEGEND

HC HANDICAP
LB LANDSCAPE BUFFER
R RADIUS
SB SETBACK
SW SIDEWALK
TYP TYPICAL

HC SIGN
STOP SIGN
PARKING LIGHT

SITE DATA

NAME OF PROJECT: SUSHI JO AND BISTRO
PROPERTY CONTROL NUMBER: 68-43-42-16-07-000-0160

FEMA FLOOD ZONE: X
TRAFFIC ANALYSIS ZONE: 1596

LAND USE DESIGNATION: COMMERCIAL
ZONING DISTRICT: C-NB

MAXIMUM BUILDING HEIGHT: 40 FEET / 4 STORIES
NUMBER OF STORIES: 1
NUMBER OF BUILDINGS: 1

TOTAL SITE AREA
0.73 AC
31,702.04 SF

BUILDING DATA

PATRON AREA: 2,000.00 SF
TOTAL SQUARE FOOTAGE: 3,048.00 SF
NUMBER OF EMPLOYEES: 12

LAND USE

	SF	AC	%
BUILDING LOT COVERAGE	3,197	0.07	10.08%
VEHICULAR USE AREA	12,872	0.30	40.60%
OPEN SPACE	15,633	0.36	49.31%
TOTAL	31,702	0.73	100.00%

LOT COVERAGE

	SF	AC	%
IMPERVIOUS AREA			
BUILDING LOT COVERAGE	3,197	0.07	10.08%
VEHICULAR USE AREA	12,872	0.30	40.60%
SIDEWALKS & HARDSCAPE	1,296	0.03	4.09%
TOTAL IMPERVIOUS AREA	17,365	0.40	54.78%

PERVIOUS AREA

	SF	AC	%
GREEN SPACE	6,220	0.14	19.62%
C-17 CANAL WATER	8,117	0.19	25.60%
TOTAL PERVIOUS AREA	14,337	0.33	45.22%

TOTAL SITE AREA
31,702 0.73 100.00%

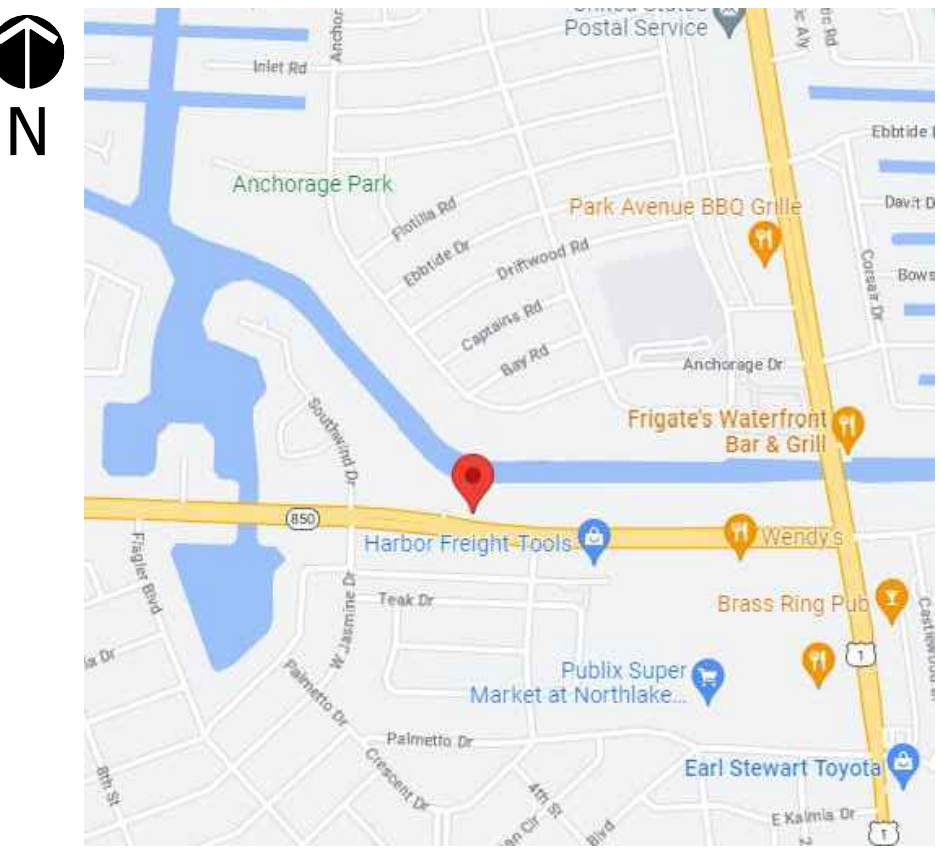
PARKING DATA

	REQ	PROV
1/3 FIXED SEATS - 54 SEATS	18	
1/1.5 EMPLOYEES - 12 EMPLOYEES	8	
TOTAL	26	24*
HANDICAP SPACES (INCLUDED IN TOTAL)	1	1

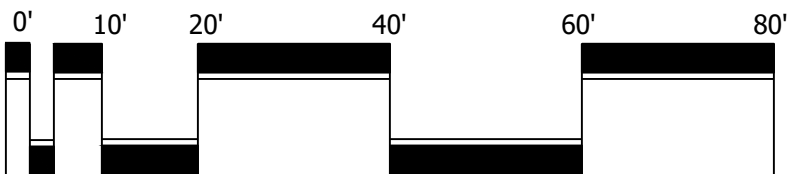
*APPLICANT IS REQUESTING A WAIVER FOR 2 PARKING SPACES

VILLAGE OF
NORTH PALM BEACH
DEC 20 2023
COMMUNITY DEVELOPMENT
RECEIVED

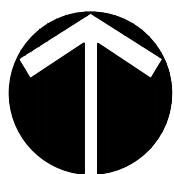
LOCATION MAP



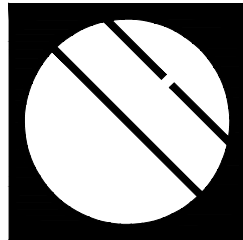
Site Plan



Scale: 1" = 20'



North



Cotleur & Hearing

Landscape Architects
Land Planners
Environmental Consultants

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458

561.747.6336 · Fax 747.1377
www.cotleurhearing.com

Lic# LC-26000535

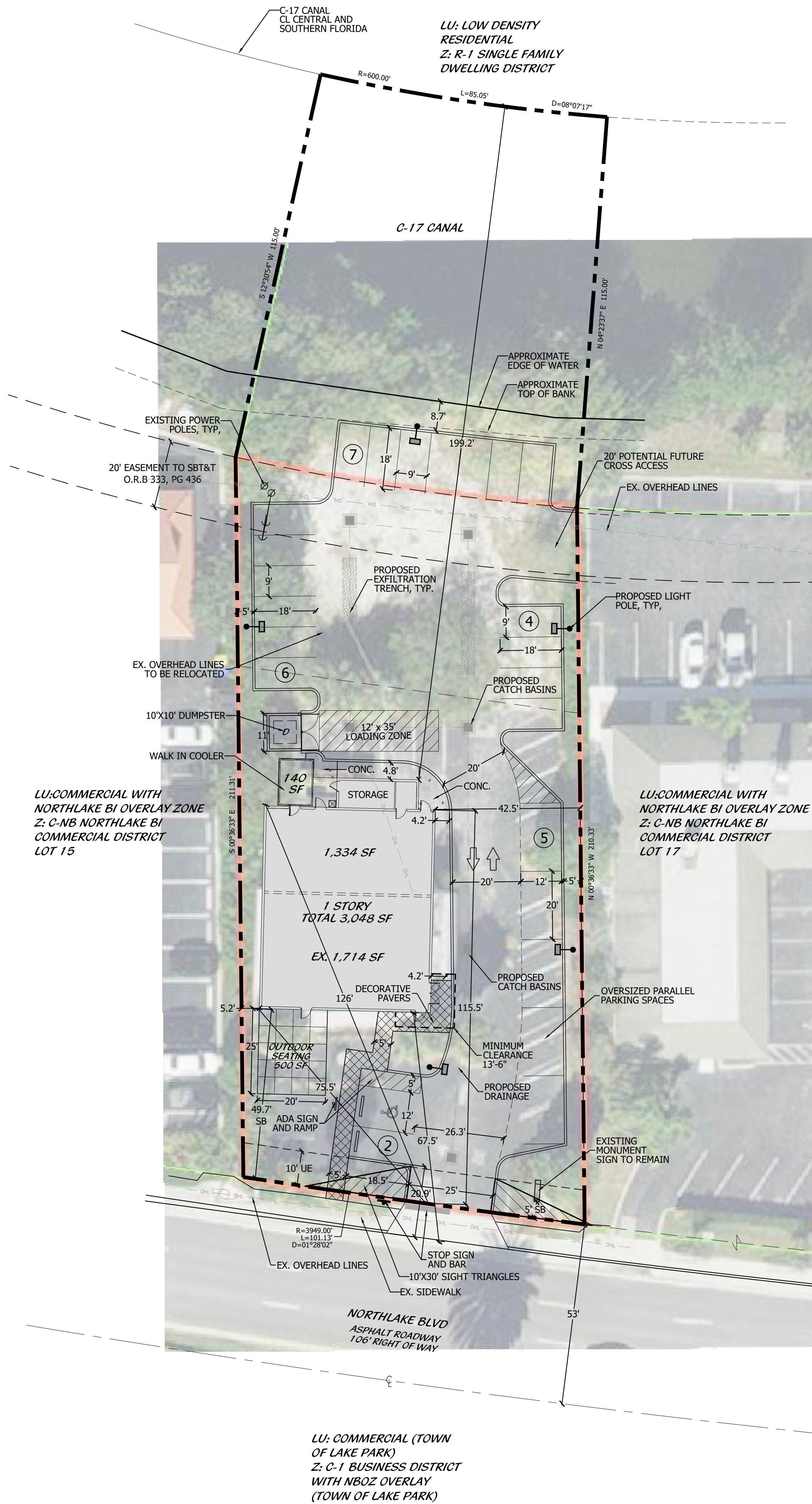
Sushi Jo & Bistro
529 Northlake Blvd.
North Palm Beach, Florida

DESIGNED: DEH
DRAWN: RO
APPROVED: DEH
JOB NUMBER: 22-0611
DATE: 02-01-23
REVISIONS: 05-18-23
07-28-23
08-14-23
09-05-23
10-31-23

October 31, 2023 9:14:49 a.m.
Drawing: 22-0611 SP.DWG

SHEET 1 OF 1

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GENERAL NOTES

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PROJECT TEAM

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150 WORTH COURT NORTH
WEST PALM BEACH, FL 33405

LANDSCAPE ARCHITECT/PLANNER:
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561.222.2993

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20 BALFOUR ROAD WEST
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WEST PALM BEACH FL, 33409
561.625.8748

TRAFFIC CONSULTANT:
KIMLEY HORN
1920 WEKIVA WAY SUITE 200
WEST PALM BEACH, FL 33411
561.845.0665

LEGEND

HC	HANDICAP	HC SIGN
LB	LANDSCAPE BUFFER	STOP SIGN
R	RADIUS	PARKING LIGHT
SB	SETBACK	
SW	SIDEWALK	
TYP	TYPICAL	

SITE DATA

NAME OF PROJECT: SUSHI JO AND BISTRO
PROPERTY CONTROL NUMBER: 68-43-42-16-07-000-0160

FEMA FLOOD ZONE: X
TRAFFIC ANALYSIS ZONE: 1596

LAND USE DESIGNATION: COMMERCIAL
ZONING DISTRICT: C-NB

MAXIMUM BUILDING HEIGHT: 40 FEET / 4 STORIES
NUMBER OF STORIES: 1
NUMBER OF BUILDINGS: 1

TOTAL SITE AREA: 0.73 AC
31,702.04 SF

BUILDING DATA

PATRON AREA: 2,000.00 SF
TOTAL SQUARE FOOTAGE: 3,048.00 SF
NUMBER OF EMPLOYEES: 12

LAND USE

	SF	AC	%
BUILDING LOT COVERAGE	3,197	0.07	10.08%
VEHICULAR USE AREA	12,872	0.30	40.60%
OPEN SPACE	15,633	0.36	49.31%
TOTAL	31,702	0.73	100.00%

LOT COVERAGE

	SF	AC	%
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BUILDING LOT COVERAGE	12,872	0.30	40.60%
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SIDEWALKS & HARDSCAPE	17,365	0.40	54.78%
TOTAL IMPERVIOUS AREA			

PERVIOUS AREA

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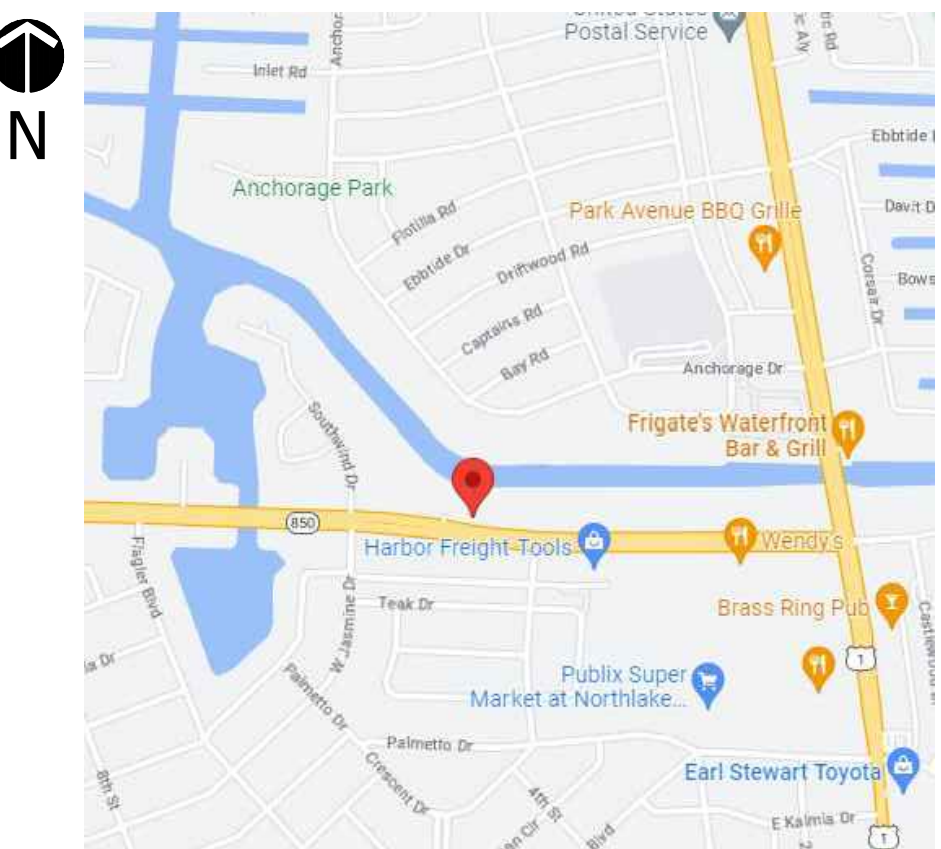
TOTAL SITE AREA: 31,702 0.73 100.00%

PARKING DATA

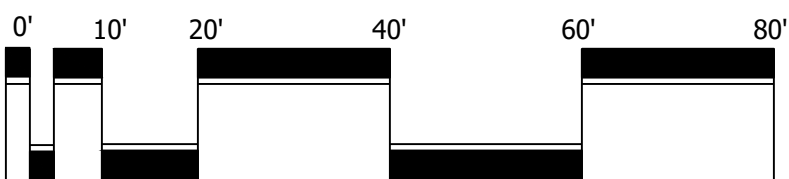
	REQ	PROV
1/3 FIXED SEATS - 54 SEATS	18	
1/1.5 EMPLOYEES - 12 EMPLOYEES	8	
TOTAL	26	24*

HANDICAP SPACES (INCLUDED IN TOTAL): 1
*APPLICANT IS REQUESTING A WAIVER FOR 2 PARKING SPACES

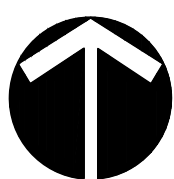
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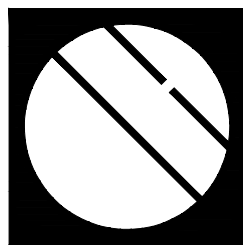
Site Plan



Scale: 1" = 20'



North



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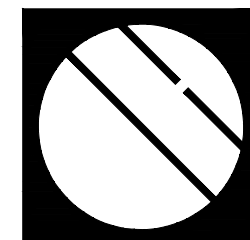
Lic# LC-26000535

Sushi Jo & Bistro
529 Northlake Blvd.
North Palm Beach, Florida

DESIGNED: DEH
DRAWN: RO
APPROVED: DEH
JOB NUMBER: 22-0611
DATE: 02-01-23
REVISIONS: 05-18-23
07-28-23
08-14-23
09-05-23
10-31-23

October 31, 2023 9:14:49 a.m.
Drawing: 22-0611 SP.DWG

SHEET 1 OF 1
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Lic# LC-26000535

Sushi Jo & Bistro
529 Northlake Blvd.
North Palm Beach, Florida

LANDSCAPE DATA

NAME OF PROJECT: SUSHI JO AND BISTRO
PROPERTY CONTROL NUMBER: 68-43-42-16-07-000-0160

FEMA FLOOD ZONE: X
TRAFFIC ANALYSIS ZONE: 1596

LAND USE DESIGNATION: COMMERCIAL
ZONING DISTRICT: C-NB

TOTAL SITE AREA: 31,702.04 SF
0.73 AC

LAND USE	SF	AC	%
BUILDING LOT COVERAGE	3,197	0.07	10.08%
VEHICULAR USE AREA	12,872	0.30	40.60%
OPEN SPACE	15,633	0.36	49.31%
TOTAL	31,702	0.73	100.00%

GREENSPACE: REQ 22.06%, PROV 22.06%

INTERIOR LANDSCAPE	REQ	PROV
PARKING ISLANDS		
TREES (1 PER ISLAND)	9	9
SHRUBS (7 PER ISLAND)	63	>63

PERIMETER LANDSCAPE	LENGTH	REQ	PROV
NORTH 5' WIDE (1 TREE PER 30')	85.05	3	7
SOUTH 5' WIDE (1 TREE PER 30')	101.13	3	3
EAST	325.33	-	7*
WEST	326.31	-	6*

*APPROXIMATELY 100' OF REAR LOT IS C-17 CANAL AND CANNOT BE PLANTED WITH TREES

FOUNDATION PLANTING	LENGTH	REQ	PROV
BUILDING ADDITION			
LINEAR FEET OF FOUNDATION (40% REQ)	236.8	95	115
S.F. OF PLANTING (5' WIDE)		474	575
TREES (1/75 LF)		3	3

LANDSCAPE POINTS
PARCELS LESS THAN ONE (1) ACRE MUST EXCEED MINIMUM STANDARDS BY 50 POINTS

	REQ	PROV
SPECIMEN TREE - 25 POINTS PER TREE	25	25
LOW MAINTENANCE TREES - 5 POINTS PER TREE	45	45
TOTAL POINTS	50	70

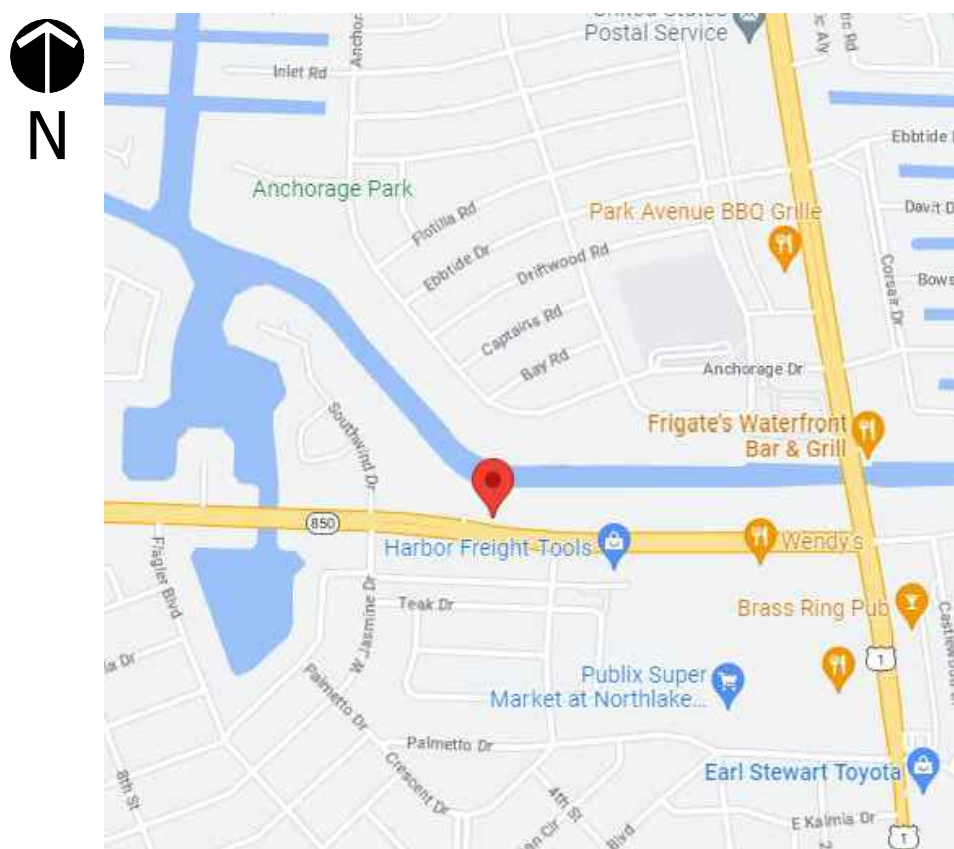
NATIVE	REQ	PROV
NATIVE		
SHADE TREES	50%	70%
ACCENTS, SHRUBS AND GROUNDCOVERS	50%	52%

LOW MAINTENANCE	REQ	PROV
SHADE TREES	75%	87%
PALMS	75%	81%
ACCENTS, SHRUBS AND GROUNDCOVERS	75%	75%

NOTE: NO PLANT SPECIES SUBSTITUTION IS ALLOWED WITHOUT VILLAGE APPROVAL

VILLAGE OF
NORTH PALM BEACH
DEC 20 2023
COMMUNITY DEVELOPMENT
RECEIVED

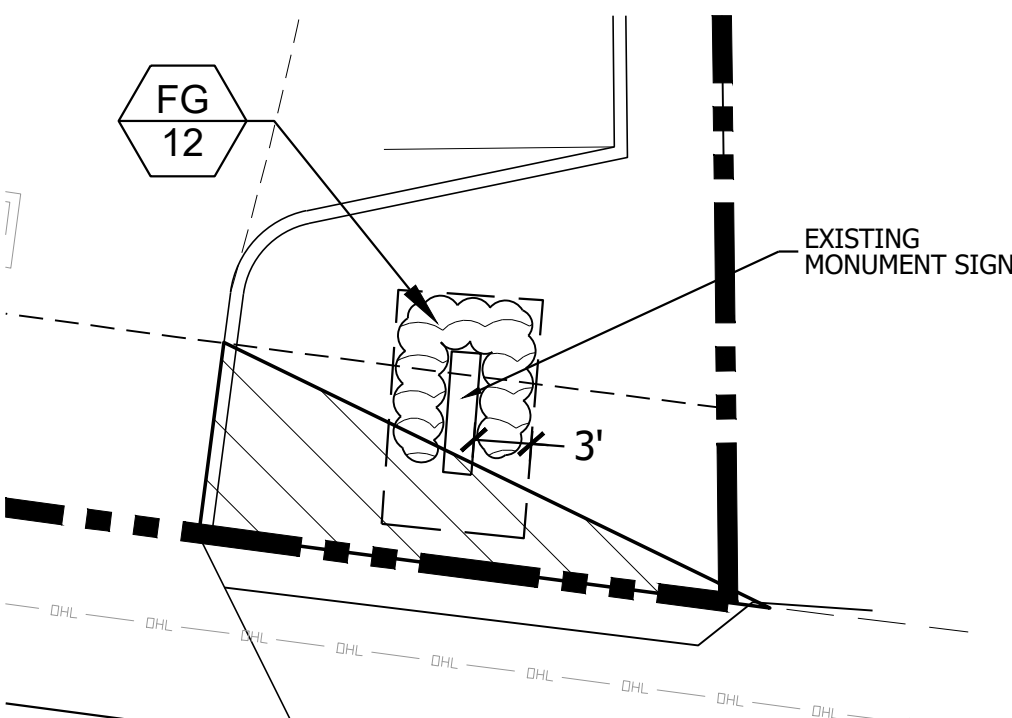
LOCATION MAP



IRRIGATION NOTES

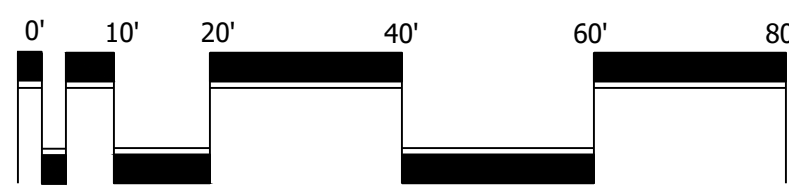
LANDSCAPE SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS. IRRIGATION SHALL BE FULLY AUTOMATIC AND PROVIDE 100% OVERLAP COVERAGE TO ALL LANDSCAPE AREAS. IRRIGATION PLAN SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF NORTH PALM BEACH AND FLORIDA STATUTES AND FLORIDA BUILDING CODE.

MONUMENT SIGN PLANTING

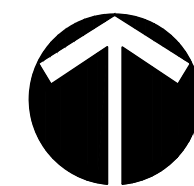


- LANDSCAPE AROUND SIGNS.
- A THREE (3) FOOT WIDE PLANTING AREA SHALL BE REQUIRED AROUND THE BASE OF ALL SIGNS EXCEPT SIGNS THAT ARE MOUNTED ON BUILDINGS.
 - ONE (1) SHRUB FOR EACH TEN (10) SQUARE FEET OF SIGN SURFACE AREA SHALL BE INSTALLED WITHIN THE THREE (3) FOOT PLANTING AREA AT THE BASE OF THE SIGN.
 - GROUND/MONUMENT SIGNS MAY BE SURROUNDED BY GROUND COVER INSTEAD OF SHRUBS
 - LANDSCAPING AND TREES WHICH INTERFERE WITH SIGNAGE MAY BE RELOCATED TO THE REAR OF THE SIGN PLANTING AREA.

Landscape Plan



Scale: 1" = 20'



North

DESIGNED: DEH
DRAWN: RO
APPROVED: DEH
JOB NUMBER: 22-0611
DATE: 02-01-23
REVISIONS: 05-18-23
11-10-23

November 10, 2023 2:13:23 p.m.
Drawing: 22-0611 LP.DWG

SHEET 1 OF 2

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LANDSCAPE NOTES

ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY GRADES AND STANDARDS LATEST EDITION.

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS OR CHANGES WITHOUT THE AUTHORIZATION OF THE VILLAGE OF NORTH PALM BEACH, THE OWNER AND THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SITE LIGHTING AND SIGNAGE.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF NORTH PALM BEACH LAND DEVELOPMENT REGULATIONS.

ALL ABOVE GROUND UTILITIES I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSERS AND ALIKE SHALL BE FULLY SCREENED FROM VIEW ON THREE SIDES WITH LANDSCAPING (EXCLUDING ANTENNAS). THE LANDSCAPING SHALL EXTEND ONE FOOT HIGHER THAN THE TALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING.

ALL TREES SHALL BE LOCATED WITHIN A MULCH PLANTING BED WITH A MINIMUM OF TWO (2) FEET OF CLEARANCE TO THE EDGE OF THE BED.

SHADE TREES SHALL BE NO CLOSER THAN 15' FROM SUA UTILITIES UNLESS AN APPROVED 48" ROOT BARRIER IS PROVIDED. NO SHADE TREE WILL BE PERMITTED CLOSER THAN 10' FROM SUA UTILITIES.

PALM TREES SHALL BE NO CLOSER THAN 10' FROM SUA UTILITIES UNLESS AN APPROVED 48" ROOT BARRIER IS PROVIDED. NO PALM TREE WILL BE PERMITTED CLOSER THAN 7' FROM SUA UTILITIES.

ALL SOD WITHIN NEW LANDSCAPE AREAS SHALL BE STENOTAPHRUM SECUNDATUS 'FLORITAM' (ST AUGUSTINE SOD), EXCEPT IN THE AREAS AROUND LAKES AND THE DRY RETENTION AREAS, WHERE BANJA SOD SHALL BE SPECIFIED.

TREES WITHIN PLANTING ISLANDS LESS THAN FIVE (5) FEET IN WIDTH SHALL BE LOCATED TO AVOID CONFLICTS WITH THE OVERHANG OF VEHICLES.

TYPE D OR F RAISED CONCRETE CURBING SHALL BE PROVIDED AROUND ALL PLANTING ISLANDS WITHIN VEHICULAR USE AREAS.

TREES AT ENTRANCE WAYS AND WITHIN SIGHT TRIANGLES SHALL BE TRIMMED IN SUCH A FASHION TO MINIMIZE SITE VISIBILITY CONFLICTS. CLEAR VISIBILITY SHALL BE MAINTAINED BETWEEN 30 INCHES AND 7 FEET.

PLANTING ISLANDS WITHIN AND ADJACENT TO PARKING AREAS SHALL BE FREE OF LIME ROCK AND OTHER FOREIGN MATERIALS TO A DEPTH OF 36" . IF NECESSARY, RECYCLED PLANTING SOIL MIXTURE SHOULD BE USED TO REPLACE UNSUITABLE SOIL, WHICH IS EXCAVATED.

EARTH BERMS SHALL NOT EXCEED 2' AND A SLOPE OF 4:1. ALL INTERIOR ISLANDS SHALL BE MOUNDED (EARTH ROLL) 12" HIGHER THAN THE CURB.

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF PALM BEACH GARDENS.

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% OVERLAP COVERAGE TO ALL NEW LANDSCAPE AND SOD AREAS.

THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENOR/CUT OFF SWITCH IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS FOR HIS/HER WORK.

NO VERTICAL CONSTRUCTION OR PLANTINGS WILL BE PLACED WITHIN THE 20-FOOT LAKE MAINTENANCE EASEMENT, WITH THE EXCEPTION OF THE AREAS WHERE A WAIVER HAS BEEN REQUESTED.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PALM BEACH GARDENS LAND DEVELOPMENT REGULATIONS. THE CITY OF PALM BEACH GARDENS CODE (LDRS) SHALL GOVERN IN THE EVENT OF A CONFLICT.

ALL EXOTIC AND NUISANCE VEGETATION SHALL BE REMOVED FROM ON SITE.

ALL TREES AND LANDSCAPING WILL BE FIELD LOCATED TO AVOID CONFLICT WITH THE EXISTING UTILITY, LIGHT POLES AND DRAINAGE LINES.

LANDSCAPE SPECIFICATIONS

1. GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

PLANT SIZE AND QUALITY

TREES, PALMS, SHRUBS, GROUNDCOVERS: PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. Nomenclature shall conform to the STANDARD PLANTING NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

STANDARD PLANTING MIXTURE SHALL BE ONE (1) PART RECYCLED ORGANIC MATERIAL ADDED TO THREE (3) PARTS EXISTING NATIVE SOIL.

REPLACEMENT SOIL SHALL BE USED AS SPECIFIED TO REPLACE EXISTING SOILS THAT ARE DETERMINED BY THE LANDSCAPE ARCHITECT TO BE UNSUITABLE FOR PLANTING, IE. ROAD BASE, PAVEMENT, ETC. REPLACEMENT SOIL MIX SHALL CONTAIN 60% SAND AND 40% MUCK. SAND SHALL BE 100% CLEAN NATIVE SAND SCREENED TO 1/4" AND MUCK SHALL BE 100% CLEAN ORGANIC NATIVE MUCK SCREENED TO 1/2". ALL SOIL SHALL BE MIXED PRIOR TO DELIVERY ON SITE.

MULCH SHALL BE SHREDED MELALEUCA, EUCALYPTUS OR GRADE "A" RECYCLED. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3", EXCEPT AS OTHERWISE NOTED.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MILORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHORUS, 12% POTASSIUM, PLUS IRON. TABLET FERTILIZER (AGRIFORM OR EQUAL) IN 21 GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASSIUM.

FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

PLANT SIZE	16-7-12	AGRIFORM TABLETS (21 GRAM)
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1 GAL	1/4 LB.	1
3 GAL	1/3 LB.	3
7-15 GAL	2/3 LB.	7
1"-4" CALIPER	2 LBS./1" CALIPER	2 PER 1" CALIPER
6" AND LARGER	3 LBS./1" CALIPER	2 PER 1" CALIPER

"FLORIDA EAST COAST PALM SPECIAL" SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR WITHIN 14 DAYS.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET.

2. PLANTING TREES

EXCAVATE PIT AS PER PLANTING DETAILS.

BACKFILL AROUND BALL WITH STANDARD PLANTING MIXTURE AND SLIGHTLY COMPACT, WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF STANDARD PLANTING MIXTURE BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH EXCEPT WITHIN 6" OF TRUNK.

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEADER.

GUY AND STAKE TREE IN ACCORDANCE WIT THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS FOR POSITIONING AT PROPER HEIGHT. BACKFILL AROUND PLANTS WITH STANDARD PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHD AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH EXCEPT WITHIN 2" OF STEMS.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

4. PLANTING GROUND COVER

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHD AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

5. PLANTING LAWNS

SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED STANDARD PLANTING MIX TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED STANDARD PLANTING MIXTURE INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

6. MISCELLANEOUS LANDSCAPE WORK

LANDSCAPE MAINTENANCE

MAINTAIN LANDSCAPE WORK UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.

PLANT MATERIAL SUBSTITUTION

NO SUBSTITUTION OF PLANT MATERIAL TYPE OR SIZES WILL BE PERMITTED WITHOUT AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.

PLANTING BED PREPARATION

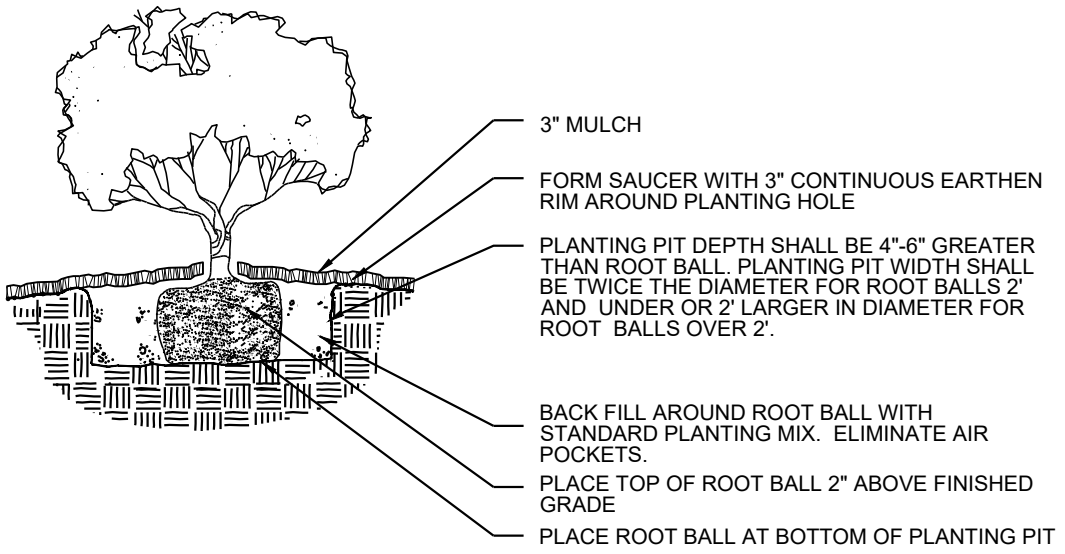
ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (Panicum repens) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED REPLACEMENT SOIL.

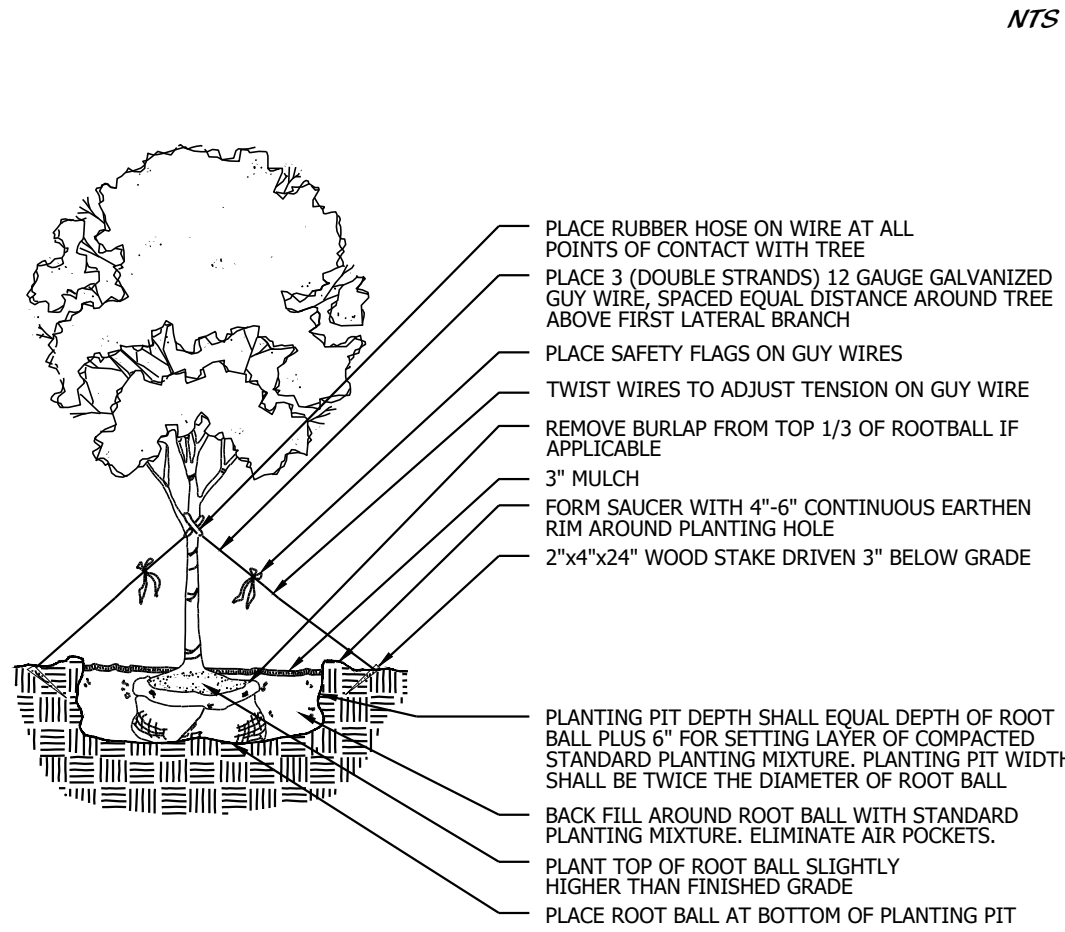
LANDSCAPE WARRANTY

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

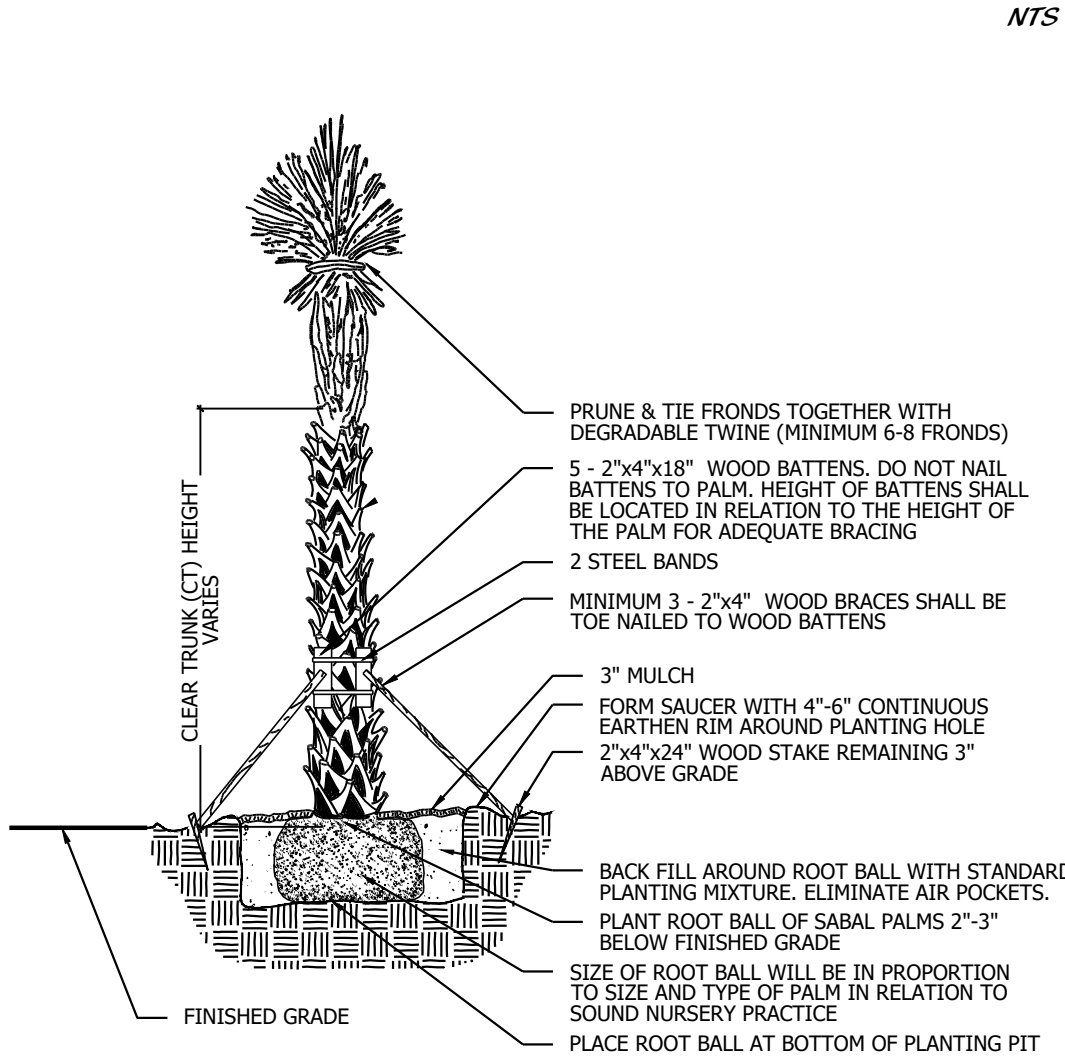
PLANTING DETAILS



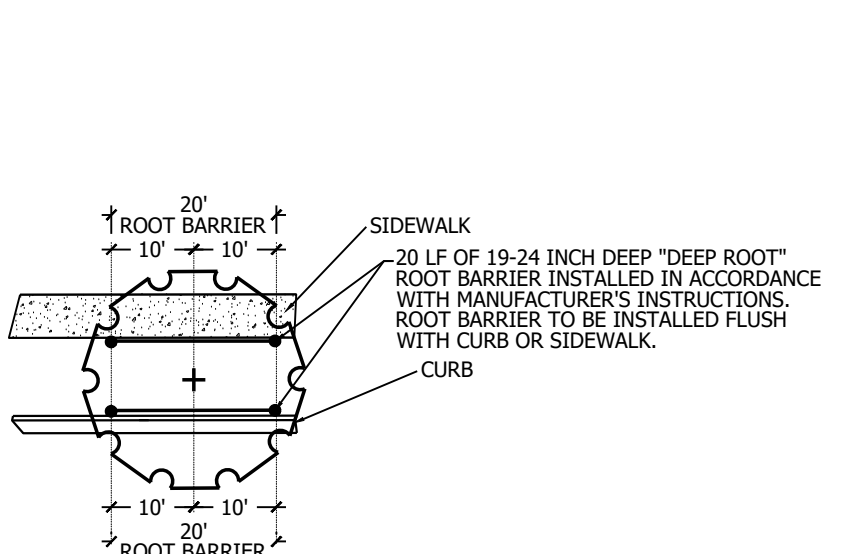
SHRUB/GROUNDCOVER PLANTING DETAIL



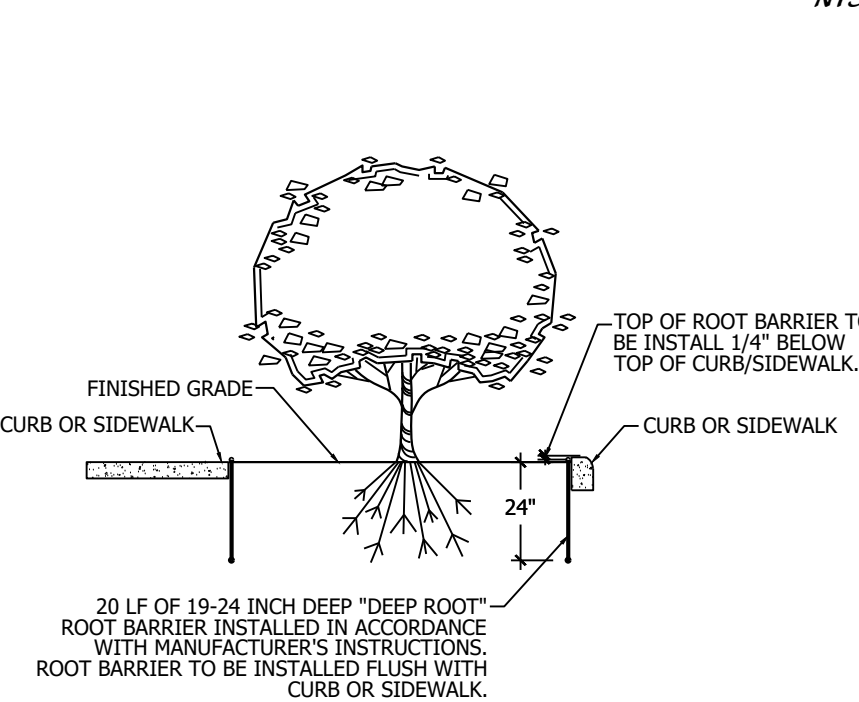
LARGE TREE PLANTING DETAIL



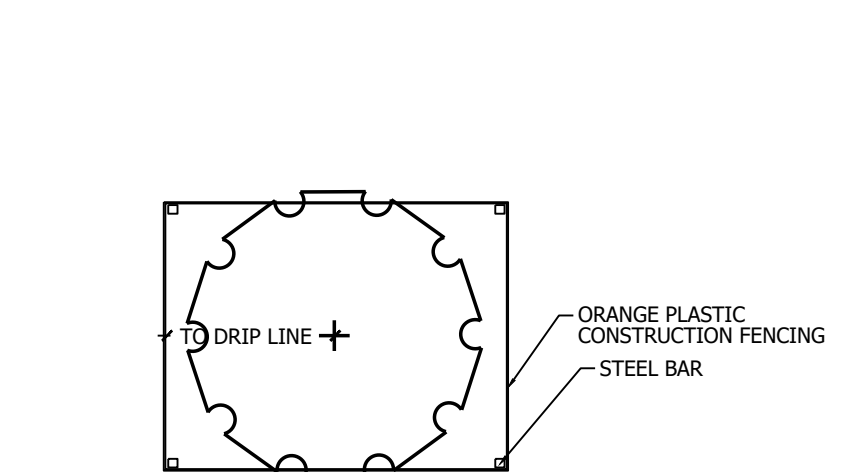
PALM PLANTING DETAIL



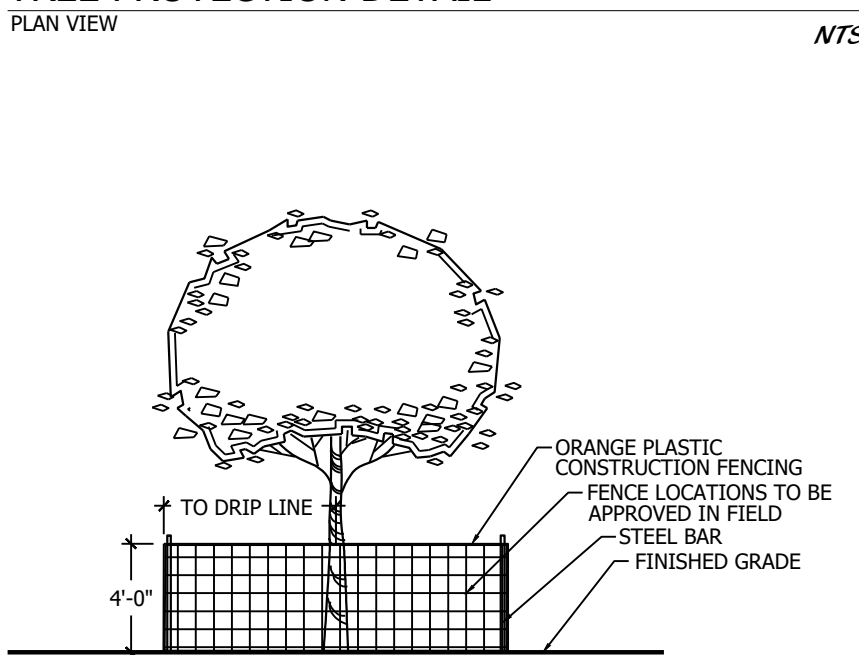
ROOT BARRIER DETAIL



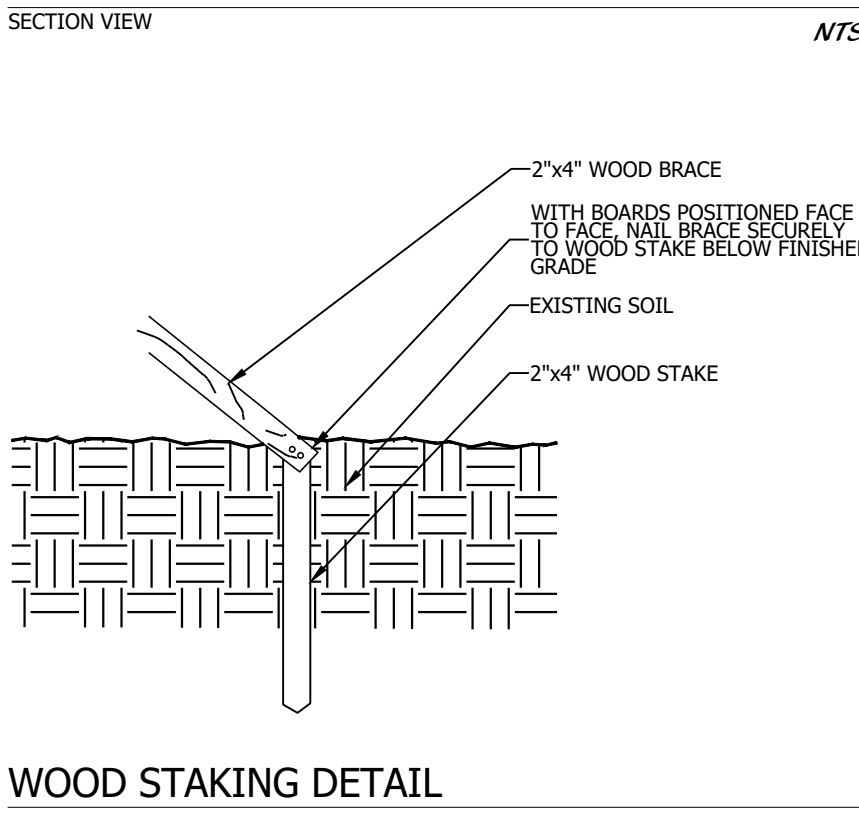
ROOT BARRIER DETAIL



TREE PROTECTION DETAIL



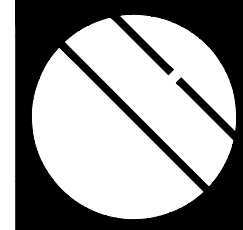
TREE PROTECTION DETAIL



WOOD STAKING DETAIL

PLANT LIST

ACCENT PALMS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	LOW MAINT	REMARKS
CH	1	CHAMAEROPS HUMILIS ' SILVER SELECT'	EUROPEAN FAN PALM SILVER SELECT	15 GAL	N.A.	4' O.A.	N	Y	MULTI TRUNK, FULL CANOPY
OLD	3	COCOTHRINAX CRINITA BREVICRINIS	SHORT HAIR OLD MAN PALM	25 GAL	N.A.	4'-5' O.A	N	N	FULL CANOPY
TMS	1	THORINAX MORRISII	KEY THATCH PALM STUMP	15 GAL	N.A.	3'-4' OA	Y	Y	FULL & THICK, STUMP
ACCENT TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	LOW MAINT	REMARKS
CES	7	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD TREE	30 GAL	2" CAL	8'-10' HT., 6'-8' SPD.	Y	Y	FULL CANOPY, SINGLE STRAIGHT TRUNK
GS	2	GARCINIA SPICATA	GARCINIA	25 GAL	1.5" CAL	7' O.A.	N	N	FULL & THICK, MATCHED
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	LOW MAINT	REMARKS
AM3	1	ADONIDIA MERRILLI	CHRISTMAS PALM	FIELD GROWN	N.A.	8' CT	N	N	
PHS	1	PHOENIX SYLVESTRIS	SYLVESTER DATE PALM	FIELD GROWN	N.A.	8' CT.	N	Y	TRIPLE TRUNK FULL & THICK, MATCHED, FLORIDA FANCY
PEA2	5	PTYCHOSPERMA ELEGANS	DOUBLE ALEXANDER PALM	N.A.	N.A.	12'-14' O.A.	N	Y	STRAIGHT TRUNK, FULL CANOPY, DIAMOND CUT.
PEA1	3	PTYCHOSPERMA ELEGANS	SINGLE ALEXANDER PALM	N.A.	N.A.	14'-16' OA	N	Y	DOUBLE TRUNK, MATCHED, 8' CT
R-SP	3	SABAL PALMETTO	RELOCATED SABAL PALMETTO	EXISTING	EXISTING	EXISTING	Y	Y	SINGLE, STRAIGHT TRUNK, MATCHED, 8' CT
SP	3	SABAL PALMETTO	SABAL PALMETTO	N.A.	N.A.	10'-12' C.T.	Y	Y	RELOCATED FROM ON SITE, GREATER THAN 8' CT
SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	LOW MAINT	REMARKS
BB	2	BUCIDA BUCERAS 'SHADY LADY'	SHADY LADY BLACK OLIVE	N.A.	2.5" CAL	12'-14' HT, 6'-8' SPRD	N	Y	FULL CANOPY
BS	2	BURSERIA SIMARUBA	GUMBO LIMBO	N.A.	2.5" CAL	12'-14' HT, 6'-8' SPRD	Y	Y	SINGLE, STRAIGHT TRUNK. FULL CANOPY
R-DR	1	DELONIX REGIA	RELOCATED ROYAL POINCIANA	EXISTING	EXISTING	EXISTING	N	Y	RELOCATED FROM ON SITE, GREATER THAN 12' HT X 5' SPRD
FS	1	FICUS AUREA	STRANGLER FIG	FIELD GROWN	HEAVY CALIPER	25' O.A.	Y	Y	FULL CANOPY, CHARACTER, SPECIMEN
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SPACE	NATIVE	LOW MAINT	REMARKS
CH7	24	CHRYSOBALANUS ICACO 'RED TIP'	REDDIP COCO PLUM	7 GAL	3' O.A.	3' O.C.	Y	Y	FULL & THICK
CLG	52	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	7 GAL	3' X 3"	3' O.C.	N	N	FULL & THICK
CU4	33	COCOLOBA UVIFERA	SEA GRAPE	15 GAL	5'-6' O.A.	3' O.C.	Y	Y	FULL & THICK
MDV	1	MONSTERA DELICIOSA	SPLIT-LEAF PHILODENDRON	7 GAL	2.5' X 2.5'	A.S.	N	N	FULL & THICK, ESPALIER TO TRUNK
PM7	25	PODOCARPUS MACROPHYLLUS	PODOCARPUS	7 GAL	4' HT., 2' SPRD	2' O.C.	N	Y	FULL & THICK
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SPACE	NATIVE	LOW MAINT	REMARKS
CID	183	CHRYSOBALANUS ICACO 'HORIZONTALIS'	DWARF COCOPLUM	3 GAL	12" X 18"	24" O.C.	Y	Y	FULL & THICK
CV	74	CODIAEUM VARIEGATUM 'ZANZIBAR'	ZANZIBAR CROTON	3 GAL	18" X18"	24" O.C.	N	Y	FULL & THICK
EL	81	ERNODEA LITTORALIS	GOLDEN CREEPER	3 GAL	12" X 12"	18" O.C.	Y	Y	FULL & THICK
FG	77	FICUS MACROPHYLLA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL	12" X 12"	24" O.C.	N	N	FULL & THICK
LM	56	LIRIOPE MUSCARI 'EV. GIANT'	LIRIOPE	1 GAL	12" X 12"	24" O.C.	N	N	FULL & THICK
SA	44	SCHEFFLERA ARBORICOLA	DWARF SCHEFFLERA	3 GAL	18" X18"	24" O.C.	N	Y	FULL & THICK
TD	31	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 GAL	24" X 24"	30" O.C.	Y	Y	FULL & THICK



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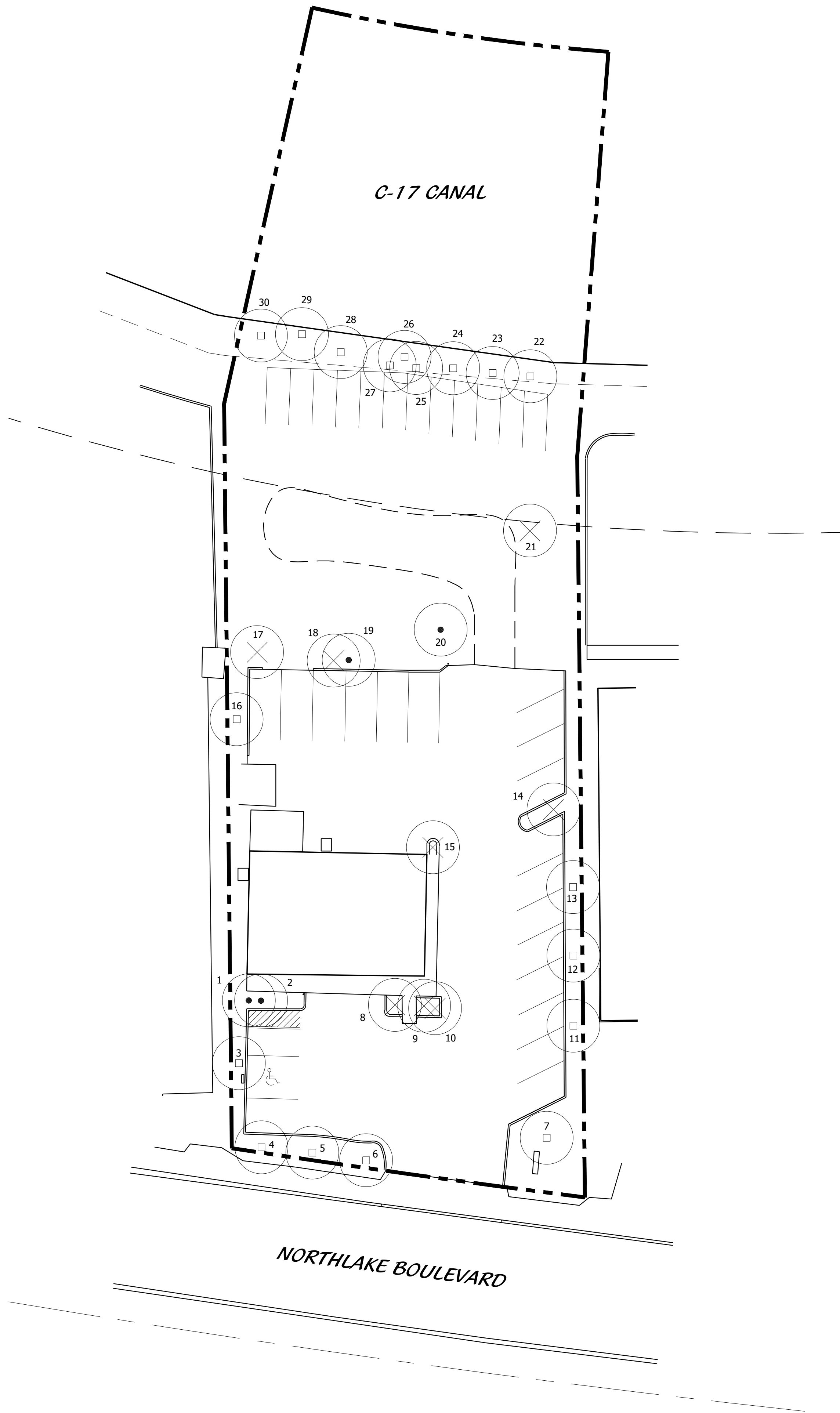
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DESIGNED _____	DEH
DRAWN _____	RO
APPROVED _____	



EXISTING TREE CHART

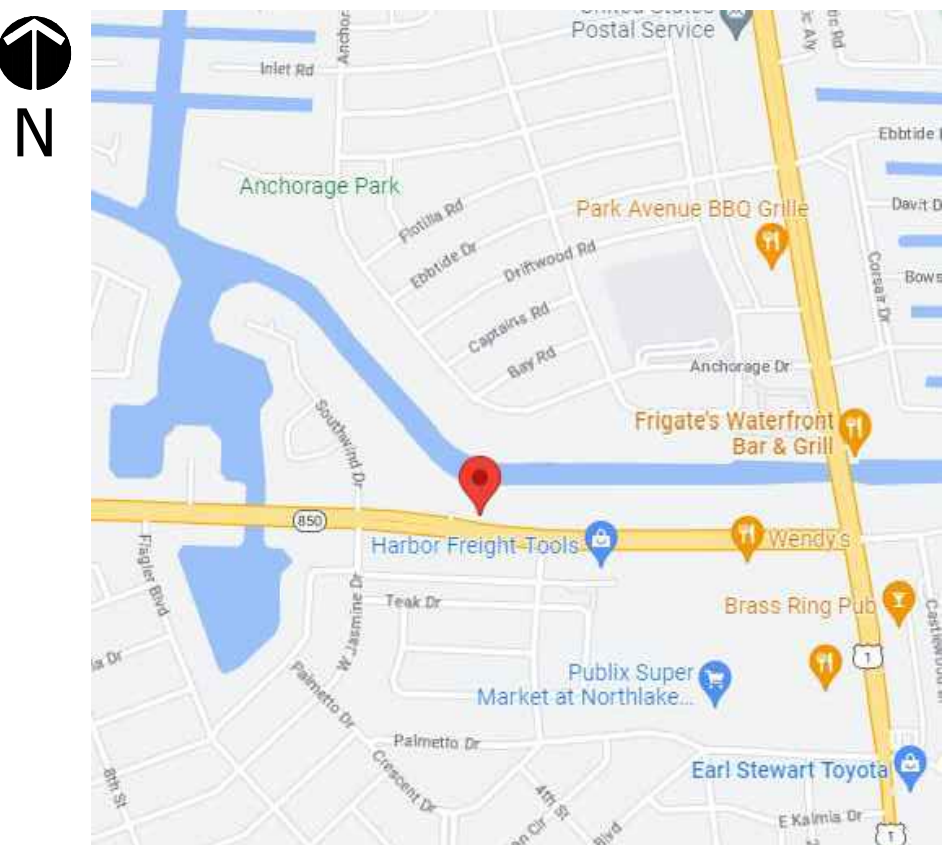
TREE NO.	COMMON NAME	BOTANICAL NAME	DBH/CT	TREE DISPOSITION	REASON FOR REMOVAL
1	SABAL PALM	SABAL PALMETTO	14'-9" CT	RELOCATE	
2	SABAL PALM	SABAL PALMETTO	9'-1" CT	RELOCATE	
3	CHRISTMAS PALM	ADONIDIA MERRILLII	8' CT	PRESERVE	
4	DAHOOH HOLLY	ILEX CASSINE	3" DBH	PRESERVE	
5	SABAL PALM	SABAL PALMETTO	16'-2" CT	PRESERVE	
6	DAHOOH HOLLY	ILEX CASSINE	2.25" DBH	PRESERVE	
7	PINK TABEBUIA	TABEBUIA HETEROPHYLLA	8" DBH	PRESERVE	
8	CHRISTMAS PALM	ADONIDIA MERRILLII	7'-10" CT	REMOVE	CONFLICT WITH NEW CONSTRUCTION
9	SABAL PALM	SABAL PALMETTO	14'-6" CT	REMOVE	CONFLICT WITH NEW CONSTRUCTION
10	SABAL PALM	SABAL PALMETTO	15'-4" CT	REMOVE	CONFLICT WITH NEW CONSTRUCTION
11	CHRYSOPHYLLUM OLIVIFORME	SATIN LEAF	5.25" DBH	PRESERVE	
12	CHRYSOPHYLLUM OLIVIFORME	SATIN LEAF	5" DBH	PRESERVE	
13	CHRYSOPHYLLUM OLIVIFORME	SATIN LEAF	4.5" DBH	PRESERVE	
14	PINK TABEBUIA	TABEBUIA HETEROPHYLLA	8.5" DBH	REMOVE	CONFLICT WITH NEW CONSTRUCTION
15	CRAPE MYRTLE	LAGERSTROEMIA INDICA	4" BDH	REMOVE	CONFLICT WITH NEW CONSTRUCTION
16	GUMBO LIMBO	BURSERIA SIMARUBA	9.5" DBH	PRESERVE	
17	LIVE OAK	QUERCUS VIRGINIANA	6.25" DBH	REMOVE	CONFLICT WITH NEW CONSTRUCTION
18	SABAL PALM	SABAL PALMETTO	8'-9" DBH	REMOVE	CONFLICT WITH NEW CONSTRUCTION
19	SABAL PALM	SABAL PALMETTO	9'-1" DBH	RELOCATE	
20	ROYAL POINCIANA	DELOXIA REGIA	MULTI TRUNKS AT BASE 10", 11" & 12"	RELOCATE	
21	LIVE OAK	QUERCUS VIRGINIANA	4.5" DBH	REMOVE	CONFLICT WITH NEW CONSTRUCTION
22	COCCOLOBA UVIFERA	SEAGRAPE	9" DBH	PRESERVE	
23	COCCOLOBA UVIFERA	SEAGRAPE	MULTI	PRESERVE	
24	COCCOLOBA UVIFERA	SEAGRAPE	MULTI	PRESERVE	
25	SABAL PALM	SABAL PALMETTO	22' CT	PRESERVE	
26	SABAL PALM	SABAL PALMETTO	16' CT	PRESERVE	
27	SABAL PALM	SABAL PALMETTO	18' CT	PRESERVE	
28	COCCOLOBA UVIFERA	SEAGRAPE	MULTI	PRESERVE	
29	COCCOLOBA UVIFERA	SEAGRAPE	MULTI	PRESERVE	
30	COCCOLOBA UVIFERA	SEAGRAPE	MULTI	PRESERVE	

SYMBOL LEGEND

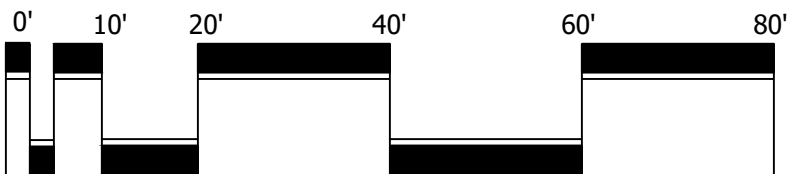
- EXISTING TREE/PALM TO BE PRESERVED
- EXISTING TREE/PALM TO BE REMOVED
- EXISTING TREE/PALM TO BE RELOCATED

VILLAGE OF
NORTH PALM BEACH
DEC 20 2023
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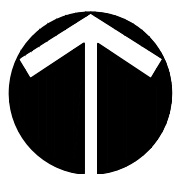
LOCATION MAP



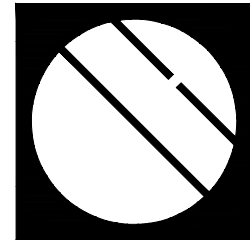
Tree Disposition Plan



Scale: 1" = 20'



North



Cotleur & Hearing

Landscape Architects
Land Planners
Environmental Consultants

1934 Commerce Lane
Suite 1
Jupiter, Florida 33458
561.747.6336 · Fax 747.1377
www.cotleurhearing.com
Lic# LC-26000535

Sushi Jo & Bistro
529 Northlake Blvd.
North Palm Beach, Florida

DESIGNED _____ DEH
DRAWN _____ RO
APPROVED _____ DEH
JOB NUMBER _____ 22-0611
DATE _____ 05-18-23
REVISIONS _____ 09-05-23

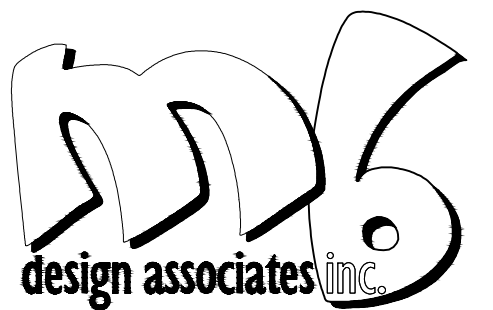
September 05, 2023 3:10:51 p.m.
Drawing: 22-0611 TDP.DWG

SHEET 1 OF 1
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These drawings are the property of the architect and are
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by agreement in writing with the architect. Immediately
report any discrepancies to the architect.

JO BISTRO & SUSHI BAR

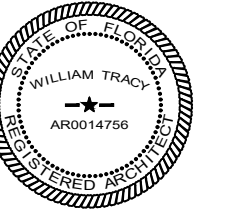
529 NORTHLAKE BLVD.

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space planning and architecture

MB DESIGN ASSOCIATES, INC.
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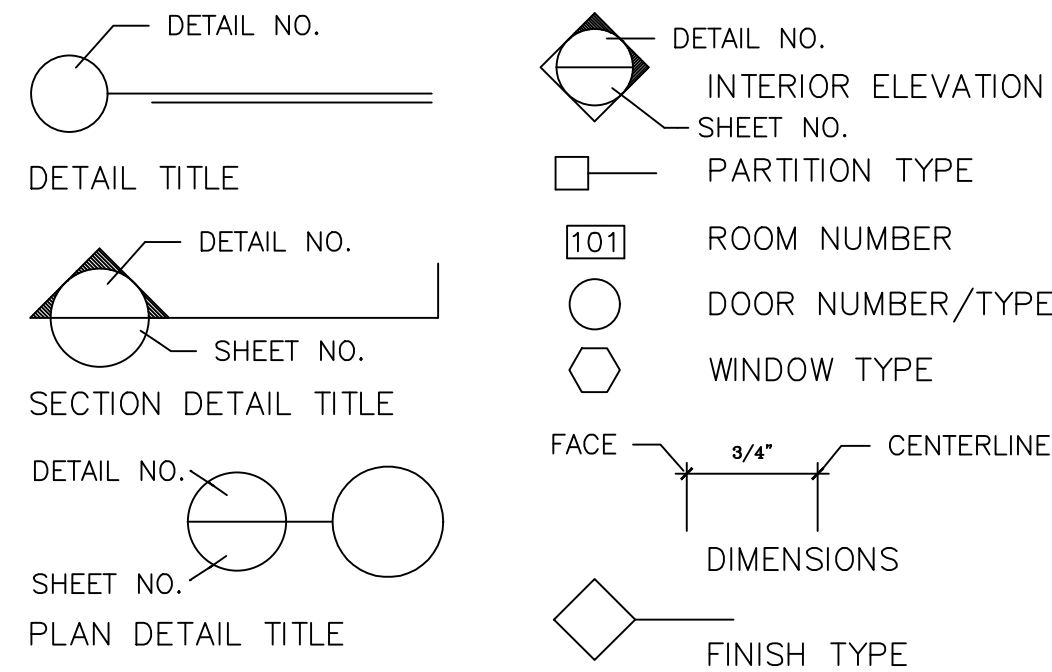
WILLIAM TRACY, #A00014756

THE FOLLOWING CODES WERE USED IN THE DESIGN OF THIS PROJECT:
2020 FLORIDA BUILDING CODE 7TH ED.
EXISTING BUILDING, BUILDING, PLUMBING,
FUEL GAS, MECHANICAL, TEST PROTOCOLS
FOR HIGH VELOCITY HURRICANE ZONES,
ACCESSIBILITY AND ENERGY
2017 NATIONAL ELECTRICAL CODE
NFPA 70
FLORIDA FIRE PREVENTION CODE, 7TH EDITION
(INCLUDING NFPA 1, 2012 AND 2011, 2012 EDITION)
WITH FLORIDA AMENDMENTS

PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

SYMBOL LEGEND



GENERAL NOTES

- All Work shall be performed in strict accordance with the Florida Building Code, 2020 7th edition, and all local ordinances. Reference to other standard specifications or codes shall mean the latest standard or code adopted and published.
- The General Contractor shall be responsible for complying with all codes, ordinances and shall obtain and pay for all permits, certifications and the like, both temporary, permanent and special permits when required.
- The Contractor shall provide all required insurance for protection against public liability and property damage for the duration of the Work. Contractor shall provide and maintain complete workman's compensation, builders risk insurance, and other necessary insurance as may be required. Proof of insurance shall be submitted to the Owner prior to commencement of Work.
- All required tests shall be performed by an approved testing laboratory at the Owner's expense. Test results shall be submitted to the Architect/engineer. Tests resulting in failure shall be reimbursable to the owner.
- The Contractor's Request for Payment shall include release of liens for all materials, supplies, and subcontractors' work relating to request.
- All Change Orders shall be approved by the Owner and signed by Architect and Owner prior to commencement of any changes in the Work.
- It shall be the responsibility of the Contractor to familiarize himself with all conditions of the site relative to existing work and the construction documents prior to commencing Work. Job site measurements are the full responsibility of the Contractor and/or Subcontractors.
- The Contractor shall verify all dimensions in the field. Discrepancies shall be reported to the Architect prior to the commencement of the Work.
- The Contractor shall coordinate the work of all trades at the time the work is performed on this structure. No additional payments shall be made for the Contractor's failure to correct conflicting field conditions. Correction of defects shall be completed without additional charge and shall include replacement or repair of any other phase of installation that may have been damaged during repair of such work.
- It is not the intent of these plans to show every minor detail of construction, the Contractor is expected to furnish and install all items necessary to complete final work.
- Do not scale drawings to obtain dimensions. Any dimensions not indicated on drawings are to be confirmed with Architect/Engineer prior to commencement of Work.
- Contractor shall comply with all statutory requirements related to waste disposal and safety precautions as required by local ordinances.
- The Contractor shall clean all areas of work after construction is complete. All trash and debris shall be removed from job site at the Contractor's expense.
- See architectural plans, elevations, details, and schedules for additional notes and information, refer to specifications for specific material requirements.
- Contractor shall include in his bid all costs associated with materials, handling, delivery and storage. Unless where noted otherwise, provide all labor, material, equipment and incidentals necessary for complete Work. Contractor shall warrant and guarantee all materials and workmanship for a period of one year from date of final completion and acceptance by Owner.
- In the event of any need for special sequencing of work is required, the Contractor shall arrange a conference with any parties deemed necessary for the purpose of special scheduling before Work begins.
- Contractor shall provide a construction schedule to the Owner indicating proposed timing prior to commencing Work.
- All finishes to meet Type A flame spread ratings if required.
- All concealed wood to be fire retardant treated wood products if required.

PLUMBING NOTES

- INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2020 FLORIDA PLUMBING CODE 7th EDITION.
- ALL MATERIALS SHALL BE NEW AND CODE APPROVED.
- VERIFY ALL EXISTING SANITARY AND WATER CONDITIONS IN THE BUILDING. ALL NEW DOMESTIC WATER PIPING SHALL BE COPPER. ALL NEW SANITARY PIPING SHALL BE HDPE OR PVC AS REQUIRED TO INTEGRATE WITH EXISTING PIPING.
- THE PLUMBING SUB-CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE THAT PLUMBING WORK IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. REPAIR OR REPLACE ALL WORK WHICH BECOMES DEFECTIVE AT NO COST TO OWNER.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION.
- INSTALL PLUMBING FIXTURES AS INDICATED ON THESE PLANS. COMPLETE SYSTEM, FIXTURES AND DEVICES SHALL BE GIVEN AN IN-SERVICE TEST AFTER COMPLETION OF INSTALLATION. SUBMIT TO OWNER/ARCHITECT FOR APPROVAL.
- ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION, SHALL BE PART OF THIS CONTRACT.
- BUILDING DRAINAGE SYSTEM IS BASED ON 1/8" / FT. MIN. FALL. ALL DEVIATIONS SHALL BE APPROVED BY THE ARCHITECT / ENGINEER. 2 1/2" AND SMALLER PIPE SHALL BE 1/4" PER FOOT.
- DO NOT SCALE FOR THE EXACT FIXTURES, PIPING, EQUIPMENT ETC.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION.
- WATER PIPING SHALL BE TYPE "L" COPPER WITH WROUGHT SOLDER FITTINGS. UNDERGROUND PIPING MAY BE TYPE "M" WITH PROPER SLEEVING AND NO JOINTS BELOW SLAB. ALTERNATE FOR CPVC PIPING & FITTINGS EQUAL TO LISTED, ORIGIN OF PLAN-GROUND COORDINATE FOR EX TYPE PIPE. "A" PIPING & FITTINGS SHALL TO UPONOR ARE ACCEPTABLE.
- FURNISH AND INSTALL APPROVED SHOCK ABSORBERS AND SHUTOFF VALVES WITH ACCESS PANELS AT EACH FIXTURE GROUP.
- PLUMBING SUB-CONTRACTOR SHALL PROVIDE ACCURATE RED-LINE (OR BETTER) AS-BUILT DRAWINGS TO ARCHITECT / OWNER PRIOR TO FINAL SHUT-OFF OF PROJECT.
- THESE PLANS ARE BASED ON AVAILABLE INFORMATION. VERIFY EXACT LOCATION OF EXISTING WATER AND SEWER PROVISIONS.
- VERIFY EXACT CONNECTIONS OF ALL EQUIPMENT SUPPLIED BY TENANT.
- COORDINATE TIE-IN OF GAS PIPING WITH GAS SUPPLIER.

MISCELLANEOUS REQUIREMENTS

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE, 7TH ED. THE NATIONAL ELECTRICAL CODE 2017 AND ALL LOCAL CODES.
- PROVIDE TYPEWRITTEN PANEL DIRECTORY TO INDICATE PANEL CIRCUITING.
- VERIFY PROPER DISCONNECT SWITCHES FOR A/C UNITS. SIZED PER NAMEPLATE.
- ALL ELECTRICAL EQUIPMENT EXPOSED TO THE WEATHER, SHALL BE WEATHERPROOF.
- THE ELECTRICAL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR FULL COORDINATION OF THIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND THE OTHER SUB-CONTRACTORS.
- PROVIDE ARCHITECT / ENGINEER WITH AS-BUILT DRAWINGS.
- PROVIDE A GUARANTEE AGAINST DEFECTIVE WORKMANSHIP, MATERIALS AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER.
- PROVIDE GFI IN ALL WET AREAS. WIRING DEVICES SHALL BE U.L. LISTED COMMERCIAL GRADE.
- ELECTRICAL SUB-CONTRACTOR SHALL VERIFY ELECTRICAL SERVICE PRIOR TO BEGINNING WORK.
- THESE PLANS ARE BASED ON AVAILABLE INFORMATION. NOTIFY ARCHITECT/ENGINEER OWNER OF ANY CONDITIONS WHICH AFFECT PROGRESS OF CONSTRUCTION.
- ALL WIRE SHALL BE COPPER, #10 AND SMALLER SHALL BE SOLID THIN, #8 AND LARGER SHALL BE STRANDED THIN. CONTROL WIRING SHALL BE #14 THIN.
- ALL WIRE SHALL BE RIGID GALVANIZED EXCEPT AS FOLLOWS:
A. EMT AND OR MC MAY BE USED INDOORS, WHERE NOT SUBJECT TO ABUSE.
B. PVC MAY BE USED UNDERGROUND WHERE ALLOWED BY CODE.
- ALL WIRE SHALL BE COPPER, #10 AND SMALLER SHALL BE SOLID THIN, #8 AND LARGER SHALL BE STRANDED THIN. CONTROL WIRING SHALL BE #14 THIN.
- THESE PLANS ARE BASED ON AVAILABLE INFORMATION. NOTIFY ARCHITECT/ENGINEER OWNER OF ANY CONDITIONS WHICH AFFECT PROGRESS OF CONSTRUCTION.
- VERIFY ELECTRICAL REQUIREMENTS OF EACH PIECE OF EQUIPMENT PRIOR TO ACTUAL CONNECTION THERE-TO.
- ELECTRICAL SUB-CONTRACTOR SHALL VERIFY LOCATIONS AND CONNECTIONS TO ALL ELECTRICAL EQUIPMENT FURNISHED BY OTHERS. PRIOR TO INSTALLING OUTLETS, CONDUIT STUDS, DROPS, ETC. VERIFY LOCATIONS OF ALL CONTROLS FURNISHED BY OTHERS. INSTALL CONTROLS AND MAKE CONNECTIONS THERE-TO.

MECHANICAL NOTES - EXISTING

- HVAC sub-contractor shall provide all labor, materials, and equipment to install a complete and operating a/c system.
- HVAC sub-contractor to provide all required HVAC permits.
- HVAC sub-contractor shall provide equipment of the capacities scheduled on the plans.
- Installation shall be in accordance with codes having jurisdiction.
- Duct board ductwork shall be fabricated from 1" Johannaeville 1-M Microaire SD/MF fiberglass ductboard and installed per manufacturer and SMACNA recommendations. Flexible duct shall be thermaflex M-10 or equal. Duct shall be U.L. listed.
- All air devices shall be of aluminum to match existing.
- Cap existing ductwork as shown on plans.
- HVAC sub-contractor shall test and balance the air quantities to those on the plans.
- HVAC sub-contractor shall provide all contactors, relays and thermostats. The electrical contractor shall provide all switches. Thermostats shall be approved by the equipment.
- Sub-contractors shall provide a written guarantee that shall warrant all workmanship and materials for one (1) year during the first year, shall be repaired at no expense to the owner. The compressor shall have a 5 year warranty (labor & Materials).
- All work shall be coordinated with other trades to avoid interferences that may delay progress of construction.
- Condensate piping shall drain to roof drain as per existing. Verify existing.
- HVAC sub-contractor shall install all necessary offsets, bends and transitions required to provide a complete system at no additional cost to Owner.
- A/C condensate drains shall be installed by A/C sub-contractor.
- INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2020 FLORIDA MECHANICAL CODE 7TH EDITION.

ABBREVIATIONS

ABV. Above	F.C.U. Fan Coil Unit	P.L. Property Line
AC Air Conditioning	F.D. Fire Damper	PLAS. Plaster
ACQST. Acoustical	F.DRN. Floor Drain	PLYND. Plywood
ACT. Acoustical Ceiling Tile	F.H.C. Fire House Cabinet	PNT. Paint
ADMN. Administrative	FIN. Finish	POL. Polished
ADRN. Area Drain	FIN.FLR./ F.F.Finish Floor	POL. Polished
A.F.F. Above Finished Floor	FIXT. Fixture	P.T.D. Paper Towel Dispenser
A.H.U. Air Handling Unit	FLR. Floor	P.V.C. Polyvinyl Chloride
ALUM. ALuminum	GALV. Galvanized	PTD. Painted
ANOD. Anodized	GL. Glass	R. Riser
APPROX. Approximately	GRD. Ground	R.A. Return Air
ASB. Absorbent	GYP.BD./G.B.Gypsum Board	RAD. or R.Radus
ASPH. Asphalt	H. High	R.C. Reinforced Concrete
ASST. Assistant	HWDR. Hardware	R.D. Roof Drain
BATT. Battery	H.M. Hollow Metal	REFL. Reflected
BD. Board	HORIZ. Horizontal	REFRIG. Refrigerator
BLDG. Building	H.P.T. High Point	RET. Retaining
BLK. Block	HCT. Hollow Clay Tile	RM. Room
BLK.BLOCK. Blocking	HT. Height	R.O. Rough Opening
BM. Beam	H.V. High Voltage	R.W.D.P. Rain Water Drain Pipe
BOT. Bottom	H.W.H. Hot Water Heater	SCHED. Schedule
BR. Brick	I.D. Interior Design	S.DWG. Structural Drawings
BRK. Breaker	LDA./L.D. Inside Diameter	SERV. Service
BRNZ. Bronze	NSUL. Insulation	SH. Shower
BTM. Between	INT. Interior	SH. Sheet
CEM. PLAS.Cement Plaster	JAN. / J. Janitor	SH. Similar
C.C. Center to Center	JO. Joint	SLID. Sliding
CEM. Cement	KITCH. Kitchen	S.N.D. Sanitary Napkin Disposal
CERT. or C.T.Ceramic Tile	LAV. Lavatory(Washbasin)	S.N. DISP Sanitary
C.G. Corner Guard	L.C. Laundry or Linen Chute	S.N. DISP Sanitary
C.H. Ceiling Height	L.P. Low Point	S.N. DISP Sanitary
C.I. Cast Iron	LT. Light	S.N. DISP Sanitary
C.J. Control Joint	L.V. Low Voltage	SP. Special
CL. Center Line	M. Meter(s)	SPCS. Specifications
C.L.R. Ceiling	MACH. Machine	SPK. Sprinkler
C.L.R. Clear	MAS. Masonry	SQ. Square
CMU Concrete Masonry Unit	MAX. Maximum	S.S. Service Sink
COL. Column	M.C. Medicine Cabinet	STL. Steel
COMP. Compressor	M.D.F. Main Distribution Frame	STN. Station
CONC. Concrete	MECH. Mechanical	STR. Structural
CONT. Contactor	MECH. Mechanical	SUSP. Suspended
CPT. Carpet	MEMB. Membrane	T. Tread
DET. Detail	MGR. Manager	T.O.C. Toilet Paper Holder
D.F. Drinking Fountain	MISC. Miscellaneous	TRANS. Transformer
DIA. or D.Diameter	M.M. Millimeter(s)	TRAN. Transom
DIR. Director	M.T. Metal Threshold	T.O.W. Top of Wall
DN. Down	MTD. Mounted	TR. Typical
D.O. Door Opening	MTL. Metal	U.C.T. Vinyl Composition Tile
D.O.H. Door Opening Height	N.O. Not In Contract	U.S. On Center
D.O.W. Door Opening Width	NOM. Nominal Dimension	VERT. Vertical
DR. Door	N.T.S. Not to Scale	VEST. Vestibule
DRAWG. Drawings	O.D. Outside Diameter	W.T.R. Water Closet
EA. Each	O.D. Outside Diameter	W. With
E.J. Elevation Joint	OFF. Office	W.C. Water Closet
E.L.C. Elevation	OPN. Opening	W.D. Wood
E.O.S. Edge of Slab	OPPHD. Opposite Hand	W.O. Where Occurs
EQ. Equip.	PASS. Passenger	WP. Waterproof
ESCAL. Escalator	P.C. Precast Concrete	W.R.M. Wet Riser Main
EXP. Exposed	P.DWG. Plumbing Drawings	
EXT. Exterior	PL. Plate	
F&B Food & Beverage		

LOCATION MAP



DRAWING LIST

CVR	COVER SHEET
A-1	FLOOR PLAN
A-2	LIFE SAFETY PLAN
A-3	EQUIPMENT SCHEDULE
A-4	DETAILS
A-5	OUTSIDE SMOKER COVER
E-1	ELECTRICAL LIGHTING/POWER
E-2	ELECTRICAL RISER / SCHEDULE
P-1	PLUMBING PLAN
P-2	PLUMBING RISER

PROJECT DATA

COMPLIES WITH FBC 2020 7th Edition, CH. 4 EXISTING BUILDING LEVEL 2
FBC 2020 ACCESSIBILITY CODE
7th EDITION FLORIDA FIRE PREVENTION NFPA 70
PROPOSED OCCUPANCY ASSEMBLY A-2 2020 FBC
CONST. TYPE TYPE III-B UN SPRINKLERED
FIRE SEPARATION BETWEEN TENANTS: 1 HOUR
DISTANCE TO EXIT LESS THAN 40 FEET
SQUARE FOOTAGE PROPOSED = 2297 SQ.FT.
DINING AREA 2312 SF / 15 = 154
KITCHEN 963 SF / 200 = 5
TOTAL OCCUPANCY = 42
TOTAL SEATING = 34

JOB #:

DATE: 11/29/2022

SCALE: VARIES

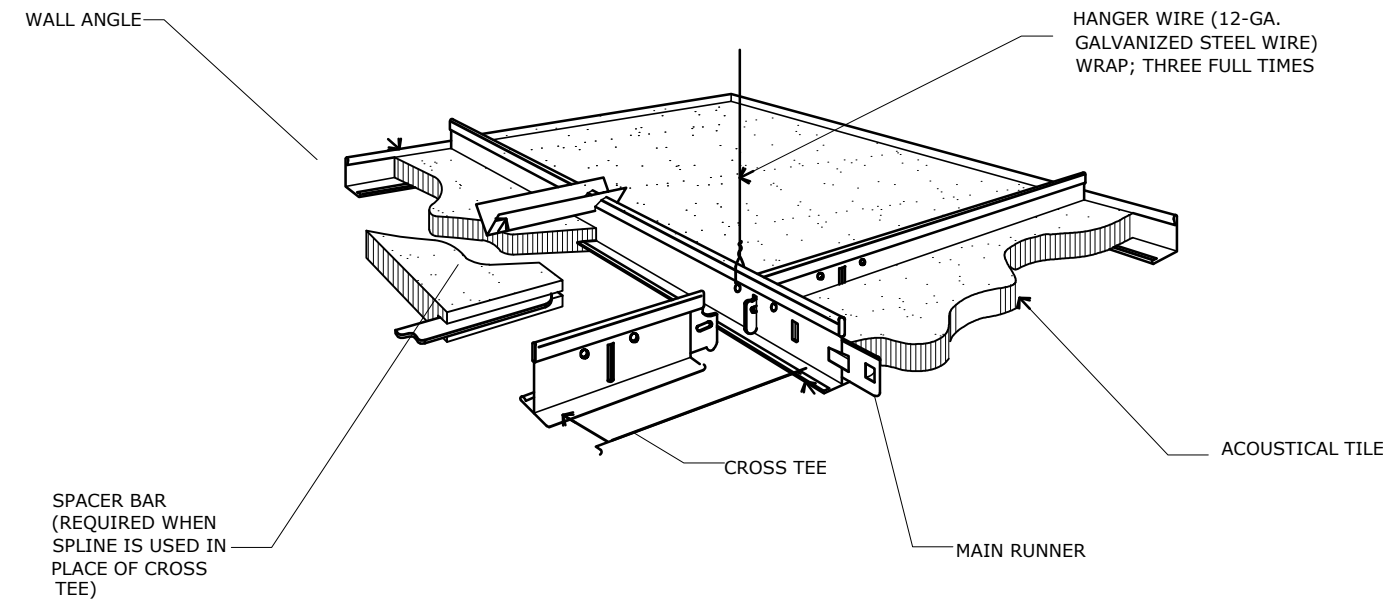
DRAWN BY: Paul Davis

ISSUED:

REVISIONS:

SHEET NO:

CVR



ACoustical CEILING TILE DETAIL

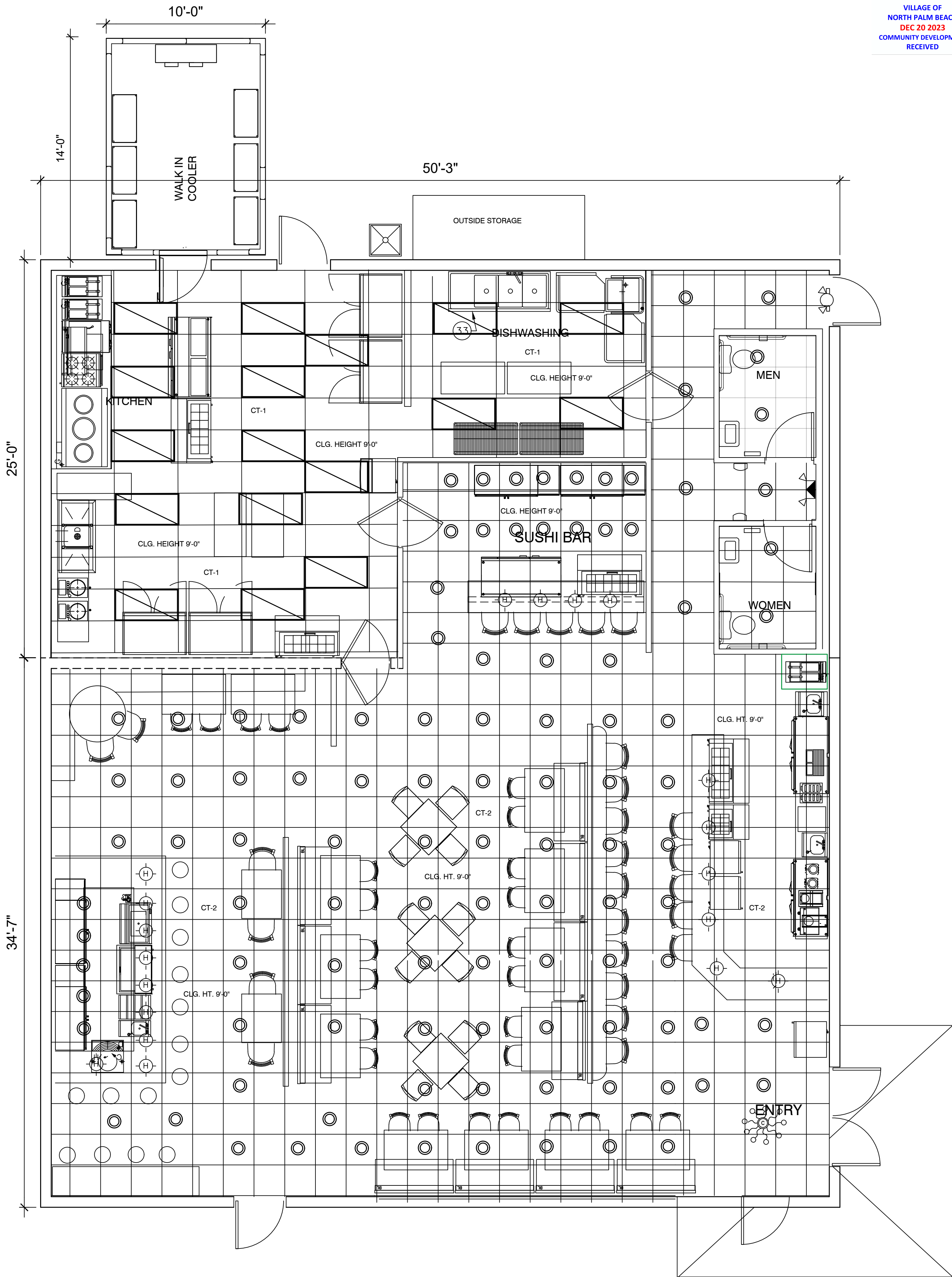
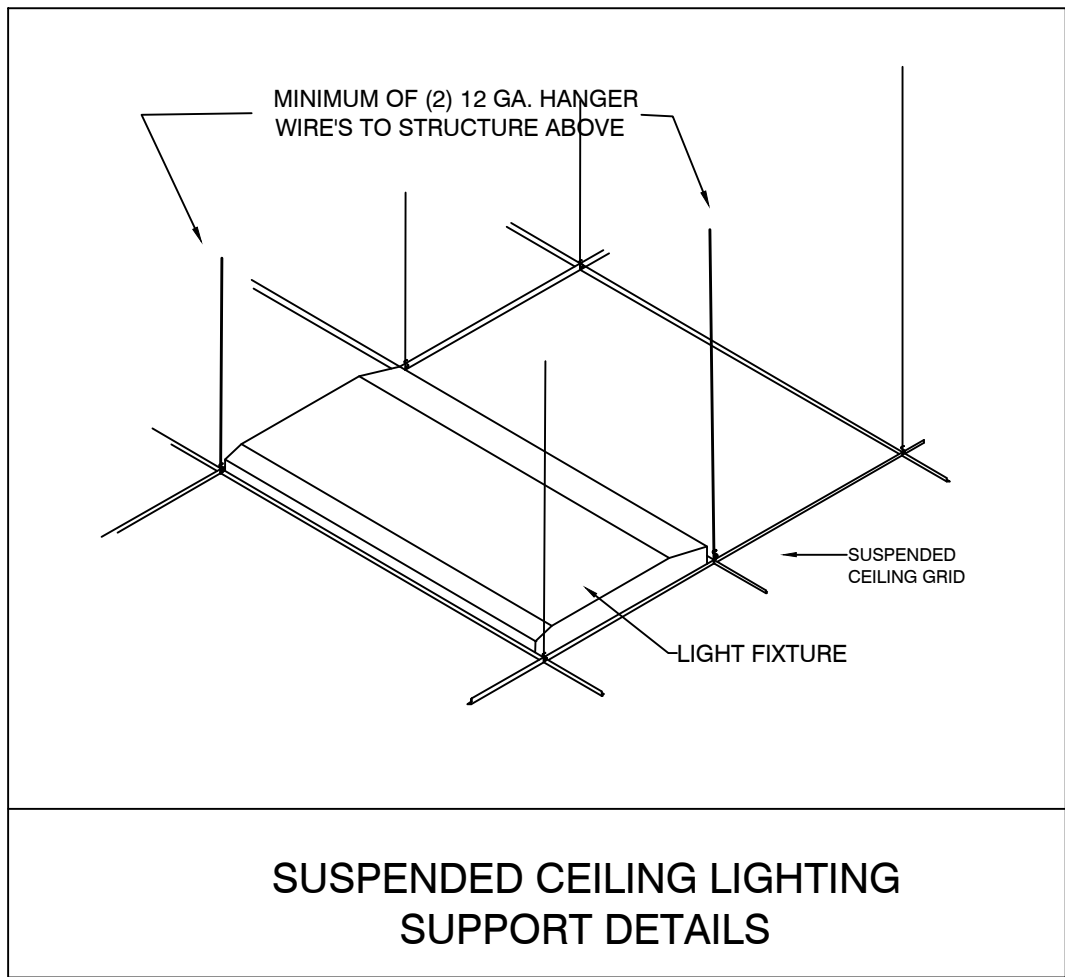
SUSPENDED GRID SYSTEM SHALL BE HOT DIPPED GALVANIZED STEEL "T" SECTION W/PRE-PAINTED CAPPING.

MAIN RUNNERS TO BE SPACES AT 48" O.C. AND SUSPENDED FROM EXISTING STEEL JOIST ROOF STRUCTURE USING PER-STRAIGHTENED 2mm DIA HDG STEEL WIRE HANGERS AT 48" O.C. FIRST HANGERS TO BE NO MORE THAN 18' FROM PERIMETER.
CROSS TEES SHALL BE INSTALLED PERPENDICULAR BETWEEN THE MAIN RUNNERS AT 24" O.C.

SCALE: NTS

CEILING SYSTEM NOTE:
PER FBC 808.1.1
SUSPENDED ACOUSTICAL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C 635 AND ASTM C 636

CT- 1 VINYL FACED GYP. WHITE 2X4 PANELS
CT- 2 USG FROST - WHITE PAINTED GRIFFIN 2X2 PANELS



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WILLIAM TRACY, #AR0014756

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2017 NATIONAL ELECTRICAL CODE NFPA 70
FLORIDA FIRE PREVENTION CODE, 7TH EDITION (INCLUDING NFPA 1, 2012 AND 101, 2012 EDITION) WITH FLORIDA AMENDMENTS

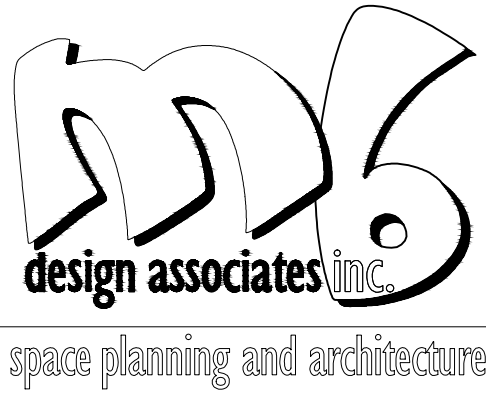
PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:
DATE: 8/30/2022
SCALE: VARIES
DRAWN BY: Paul Davis

ISSUED: REVISIONS:

SHEET NO:
A-1



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PROJECT NAME/LOCATION:

529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:

DATE: 9/8/2022

SCALE: VARIES

DRAWN BY: Paul Davis

ISSUED:

REVISIONS:

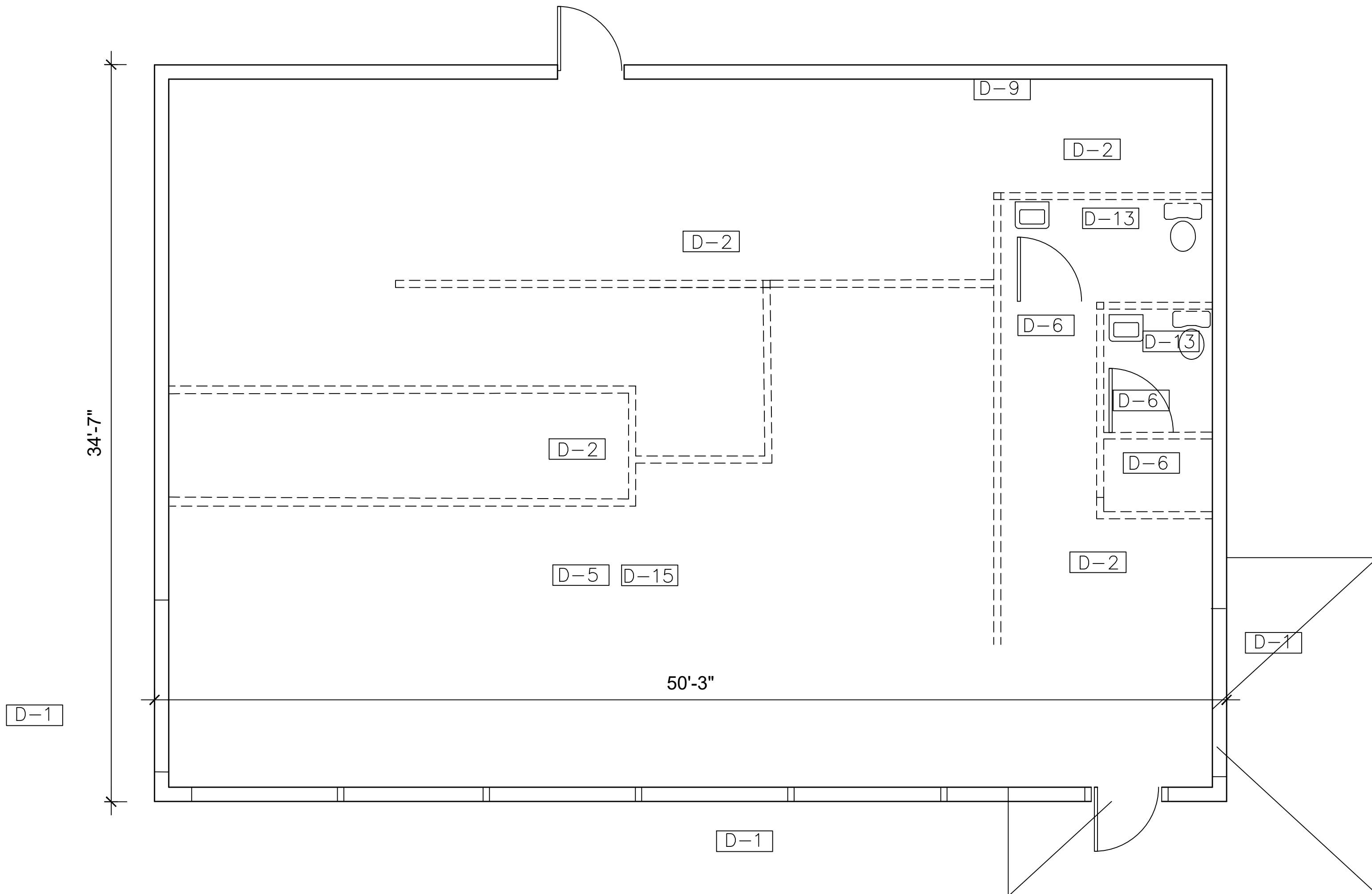
SHEET NO:

A-1

DEMOLITION NOTES:

- D-1 EXISTING STOREFRONT TO REMAIN
- D-2 DEMO EXISTING NON LOAD BEARING WALLS AND ALL SWITCHES, OUTLETS, DEVICES.
- D-3 EXISTING SW'S, OUTLETS, LIGHTING, CLG'S TO REMAIN.
- D-4 REMOVE ALL WIRING @ OUTLETS AND SWITCHES IN DEMO WALLS BACK TO EXISTING PANEL OR TO J BOX AND COVER.
- D-5 REMOVE CEILING, LIGHT FIXTURES, AC GRILLES. INCLUDING HANGER WIRE & ATTACHMENTS. REMOVE ALL LOW VOLTAGE WIRING.
- D-6 REMOVE DOOR, HARDWARE, TRIM.
- D-7 EXISTING DOOR AND HARDWARE TO REMAIN
- D-8 CABINETS, SINK, FAUCET, TO REMAIN
- D-9 EXISTING ELECTRICAL PANELS TO REMAIN
- D-10 EXISTING J BOXES TO REMAIN
- D-11 REMOVE EXISTING FLOORING INCLUDING THINSET.
- D-12 DRINKING FOUNTAINS TO REMAIN.
- D-13 EXISTING PLUMBING FIXTURES & ACCESSORIES (SUCH AS GRAB BARS, TOILET PAPER DISPENSER, SOAP DISPENSER, PAPER TOWEL DISPENSER, MIRROR) TO REMOVED AND CAPPED.
- D-14 EXISTING SERVICE SINK, HOT WATER HTR. TO REMAIN.
- D-15 FLOOR FINISHES TO REMOVED.

NOTE:
ALL ITEMS ARE NOT USED.



DEMOLITION PLAN
SCALE 1/4" = 1'-0"

1,737 S.F.

NOTE:
NO STRUCTUAL
DEMOLITION FOR
THIS PROJECT
REQUIRED.

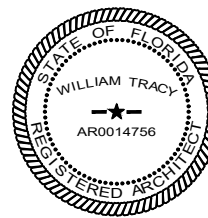
DEMOLITION, RENO-
VATION TO COMPLY
WITH N.F.P.A.-241

SCOPE OF WORK:
THIS IS AN INTERIOR DEMO FOR NON LOAD BEARING WALLS, ACOUSTICAL CEILINGS, FLOORING. THIS SPACE IS VACANT, CONSTRUCTION PLANS FOR AN EXPANSION OF 529 Northlake TO FOLLOW.



space planning and architecture

MB DESIGN ASSOCIATES, INC.
FLORIDA LICENSE #: AA26000521
P.O. Box 4376
Tequesta, Florida 33469



WILLIAM TRACY, #ARD014756

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PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:

DATE: 11/29/2022

SCALE: VARIES

DRAWN BY: Paul Davis

ISSUED:

REVISIONS:

SHEET NO:

A-2

- EXIT BATT. BACK UP EXIST SIGN
EMERG. LIGHT BATT. BACK UP
FE ABC FIRE EXTINGUISHER
FE_K K CLASS FIRE EXTINGUISHER

NOTE:
NO STRUCTUAL
DEMOLITION REQUIRED
FOR THIS PROJECT.

NOTE:
DEMOLITION / RENOVATION
TO COMPLY WITH
N.F.P.A. - 241

OCCUPANCY SIGNAGE NOTES:

1. SIGNS STATING THE MAXIMUM OCCUPANT CONTENT SHALL BE CONSPICUOUSLY POSTED IN EACH AREA OF THE ASSEMBLY, ASSEMBLY ROOM AUDITORIUM OR ROOM USED FOR SIMILAR PURPOSE.

LIFE SAFETY SUMMARY

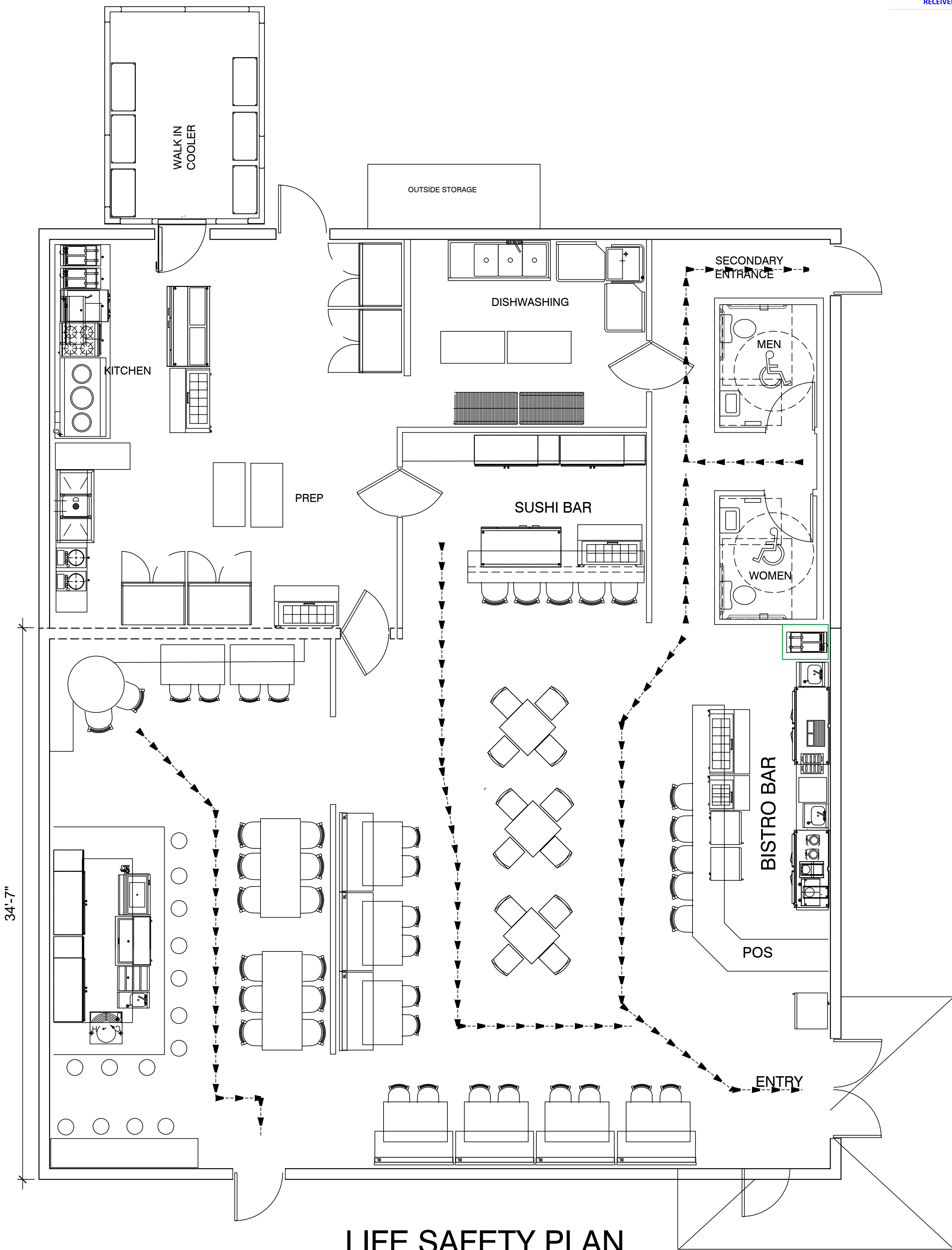
PER FFPC 2020 1000.1 7th EDITION

ITEM	REQUIRED/ALLOWED	PROVIDED	REMARKS
NUMBER OF EXITS	2	5	
TRAVEL DISTANCE	75' ALLOWED	<40'	SEE NOTE #1
DEAD END CORRIDOR	20' MAX. ALLOWED	<20'	SEE NOTE #1
EMERG. LIGHTING	THOUGH OUT	THOUGH OUT	
EXIT SEPERATION	REMOTE FRONT & REAR	COMPLIES	
SPRINKLER SYSTEM	NO	-	
FIRE ALARM	NO	-	

NOTE: #1 A COMMON PATH OF TRAVEL SHALL BE PERMITTED FOR THE 1ST 20 FEET FROM ANY POINT SERVING ANY NUMBER OF OCCUPANTS AND FOR 75 FEET FROM ANY POINT WHERE SERVING NOT MORE THAN 50 OCCUPANTS.

FIRE DEPARTMENT NOTES:

- Fire extinguishers shall be mounted 48" MAX. AFF.
- Fire extinguishers shall be dated and tagged by licensed Fire Equipment Company.
- Additional Exit signs and Emergency Light may be required by the Fire Inspector at the time of the fire final.
- Additional Fire extinguishers may be required by the Fire Inspector at the time of the Fire Final.
- All Doors in the Means of Egress Shall be Single Action Release and Shall Not Require the Use of a Key, Tool, or Special Knowledge to Open from Egress Side per NFPA 101:7.2.1.5.2

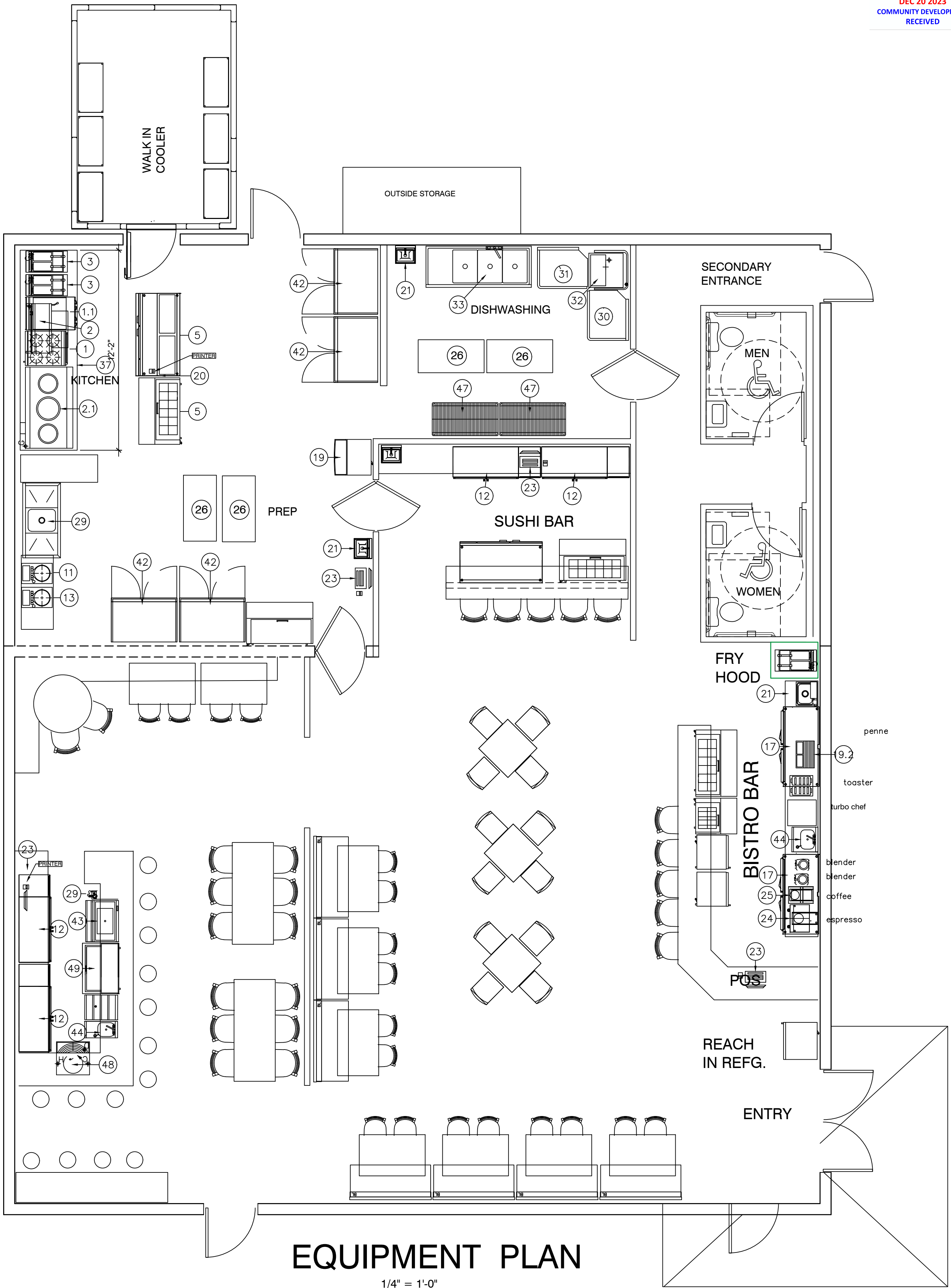


LIFE SAFETY PLAN

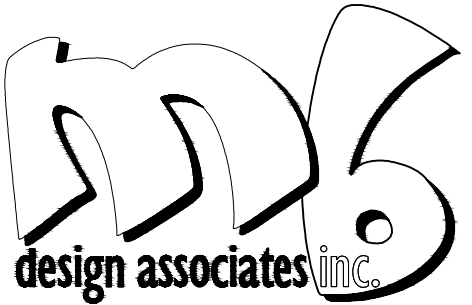
1/4" = 1'-0"

EQUIPMENT SCHEDULE																		
Item No	Qty	Equipment Category	Manufacturer	Model Number	Volts	Phase	Amps	KW	HP	Plug	Electrical Aff. (m)	Cold Water Size (in)	Hot Water Size (in)	Direct Drain Size (in)	Indir. Drain Size (in)	Gas Size (in)	MBTUH	Equipment Remarks
1	1	GAS RANGE 4 BURNER	IMPERIAL	1R-4	-	-	-	-	-	-	-	-	-	-	.75	155	-	GAS
1.1	1	COUNTERTOP CHARBROILER	IMPERIAL	1RB-24	-	-	-	-	-	-	-	-	-	-	-	0.75	60	GAS/TABLE TOP
2	1	SALAMANDER	BAKERS PRIDE	BPCM1-36	-	-	-	-	-	-	-	-	-	-	-	0.75	35	GAS
2.1	1	RANGE, WOK	L&T RESTURANT EQUIP	CRD-103(132013)	-	-	-	-	-	-	-	-	-	-	-	1.5	384	W/WATER
3	2	Fryer, Deep Fat, Gas	DEAN INDUSTRIES	SR142G	-	-	-	-	-	-	-	-	-	-	-	.75	210	105 BTU EACH
3.1	3	STOCK POT RANGE	ROYAL RANGE	RSP-J-18D	-	-	-	-	-	-	-	-	-	-	-	.75	750	GAS
4	1	CONVECTION OVEN	BLODGETT	SHO-100-E SINGLE	208	1	50	-	-	-	X 36	-	-	-	-	-	-	ELECTRIC
5	2	REFRIGERATED PREP	ATOSA USA, INC.	SPED72-18C-2	115	1	2.8	-	-	-	X 18	-	-	-	-	-	-	ELECTRIC
6	1	HOT FOOD TABLE	ADVANCE TABCO	MSFB307GR	-	-	-	-	-	-	-	-	-	-	-	.75	140	GAS
7	1	MICROWAVE	AMANA	AMS022	208	1	16.8	-	-	-	X 18	-	-	-	-	-	-	ELECTRIC
8	1	REFRIGERATED CHEF BASE	ARTIC AIR	ARC860	120	1	6	-	-	-	X 18	-	-	-	-	-	-	Electric
9	1	MEAT DISPLAY CASE	ADVANCE TABCO	HDRCP-4-BS	120	1	8	-	-	-	X 18	-	-	-	-	-	-	ELECTRIC
10	1	COLD BUFFET TABLE	NOT USED	-	120	1	2.9	-	-	-	X 18	-	-	-	-	-	-	-
11	1	RICE COOKER	TOWN EQUIPMENT	57137	120	1	18	-	-	-	X 40	-	-	-	-	-	-	ELECTRIC
12	4	DISPLAY COOLER	ATOSA USA, INC.	MBB69GGR	115	1	2.3	-	-	-	X 18	-	-	-	-	-	-	ELECTRIC
13	1	RICE COOKER	TOWN EQUIPMENT	RM-55N-R	-	-	-	-	-	-	-	-	-	-	-	.75	34.6	GAS
14	1	FOOD PROCESSOR/BLENDER	NOT USED	BY OWNER	-	120	1	6	-	-	X 18	-	-	-	-	-	-	POWER POLE
15	1	WATER FILTER	HOSHIZAKI	H9320	-	-	-	-	-	-	X -	.5	-	.5	-	-	-	-
16	2	ICE PLATE W/COLD BIN (BY VENDOR)	NOT USED	-	-	-	-	-	-	-	-	18	-	-	-	-	-	RUN INDIRECT DRAIN LINE TO FLOOR SINK
17	2	UNDERCOUNTER REFG.	CENTAUR	48" CUR-48	120	1	5.1	-	-	-	X 18	-	-	-	-	-	-	-
18	1	SODA / ICE BY VENDOR	BY VENDOR	-	120	1	3.2	-	-	-	-	-	-	-	-	-	-	-
19	1	ICE MACHINE	HOSHIZAKI	KM-300BAJ	120	1	8.4	-	-	-	X 18	.5	-	-	1.5"	-	-	RUN INDIRECT TO HUB DRAIN
19.1	2	HALF SIZE CONVECTION OVEN	NOT USED	AXIS	208	1	10.4	-	-	-	X 38	-	-	-	-	-	-	RUN INDIRECT DRAIN LINE TO FLOOR SINK
19.2	1	PANINI GRILL	WARING	H531	120	1	14.5	-	-	-	X 18	-	-	-	-	-	-	-
19.3	1	UNDERCOUNTER FREEZER	NOT USED	AVANTCO	#178SSUC27FHC	115	1	2.1	-	-	X 18	-	-	-	-	-	-	ELECTRIC
20	1	DOUBLE OVERSHELF W/ HEAT LAMP	BY VENDOR / NEMCO	6150-60	120	1	11.7	-	-	-	X 18	-	-	-	-	-	-	ELECTRIC
21	5	SINK, HAND, WALL MOUNT	BK RESOURCES	-	-	-	-	-	-	-	-	.5	.5	1.5	-	-	-	DRAIN TO FLOOR SINK WHEN APPLICABLE
22	1	TEA BREWER (BY VENDOR)	NOT USED	CURTIS	PTTD-3	120	1	11.8	-	-	-	-	-	-	.75	-	-	-
23	5	POS (PRINTER)	NOT USED	BY VENDOR	-	120	1	-	-	-	-	-	-	-	-	-	-	-
24	1	ESPRESSO	BY VENDOR	-	120	1	8.3	-	-	-	X 18	-	-	-	-	-	-	DRAIN TO FLOOR SINK
25	1	COFFEE MAKER	NOT USED	FETCO	CBS-18-3	208	1	11.8	-	-	X 18	.5	-	-	-	-	-	DRAIN TO FLOOR SINK
26	3	WORK TABLE	CUSTOM	PER PLAN	-	-	-	-	-	-	-	.5	.5	-	2	-	-	DRAIN TO FLOOR SINK
27	1	ICE MACHINE	NOT USED	HOSHIZAKI	F-330BAJ	115	1	6.9	-	-	-	48	.5	-	.75	-	-	DRAIN TO FLOOR SINK
28	1	MOP SINK	NOT USED	-	-	-	-	-	-	-	-	.5	.5	1.5	-	-	-	-
29	1	PREP SINK	JOHN BOOS	PB-DISINK101410-P-SSR	-	-	-	-	-	-	-	.5	.5	1.5	-	-	-	-
30	1	CLEAN DISH TABLE	NOT USED	CUSTOM FABRICATION	-	-	-	-	-	-	-	.5	.5	2	-	-	-	-
31	1	DIRTY DISH RINSE	NOT USED	CUSTOM FABRICATION	-	-	-	-	-	-	-	.5	.5	2	-	-	-	DRAIN TO FLOOR SINK
32	1	DISHWASHING MACHINE	AMER. DISH SERVICE	AFC-3D-S	115	1	20	-	-	-	X 48"	0.75	0.75	-	-	-	-	DRAIN TO FLOOR SINK
33	1	3 COMP. SINK	BK RESOURCES	-	-	-	-	-	-	-	-	.5	.5	2	-	-	-	DRAIN TO FLOOR SINK
34	1	SOUP WARMER	NOT USED	APW	W-43V	120	1	12.5	-	-	-	-	-	-	-	-	-	DRAIN TO FLOOR SINK
35	1	PREP SINK 1 COMPARTMENT	NOT USED	BK RESOURCES	-	-	-	-	-	-	-	.5	.5	-	1.5	-	-	DRAIN TO FLOOR SINK
36	1	ICE CREAM CASE	GALAXY	ICFC12-HC	120	1	3.5	-	-	-	-	-	-	-	-	-	-	DRAIN TO FLOOR SINK
37	1	EXHAUST HOOD	BY VENDOR	-	-	-	-	-	-	-	SEE MANUF. ELECTRICAL SPEC'S	-	-	-	-	-	-	-
38	1	GLASS FROSTER	NOT USED	AVANTCO	#178GF25HC	115	1	4	-	-	-	-	-	-	-	-	-	-
39	1	SODA CARBONATOR SYSTEM	SODA GUN	BY VENDOR	120	1	2	-	-	-	X 18"	-	-	-	-	-	-	-
40	1	DROP IN HAND SINK	NOT USED	ADVANCE TABCO	D1-1-1515-X	-	-	-	-	-	-	.5	.5	-	1.5	-	-	-
41	2	REACH IN REFG.	ATOSA USA, INC.	MBB69GGR	120	1	3.2	-	-	-	X 48"	-	-	-	-	-	-	-
42	1	REACH IN FREEZER	ATOSA USA, INC.	MBF8002GR	120	1	8.6	-	-	-	X 48"	-	-	-	-	-	-	-
43	1	ICE BIN	KROWNE	18-36DP-7	-	-	-	-	-	-	-	-	-	-	-	1.5	-	DRAIN TO FLOOR SINK
44	1	BLENDER STA. HAND SINK	KROWNE	18-12-BD	-	-	-	-	-	-	-	.5	.5	-	1.5	-	-	DRAIN TO FLOOR SINK
45	3	DISPLAY GLASS DOOR REFG.	NOT USED	BY VENDOR	120	1	4	-	-	-	-	-	-	-	-	-	-	-
46	1	LIQUOR DISPLAY	KROWNE	18-24RD	-	-	-	-	-	-	-	-	-	-	-	-	-	-
47	1	STORAGE SHELVING	METRO	ADJUSTABLE	-	-	-	-	-	-	-	-	-	-	-	-	-	-
48	1	BAR GLASS WASHER	KROWNE	GWR-24	208	1	11	-	-	-	-	.5	.5	1"	-	-	-	DRAIN TO FLOOR SINK
49	1	BOTTLE COOLER	AVANTCO	#178HB50HC	115	1	3	18	-	-	-	.5	.5	1"	-	-	-	-
50	1	DROP-IN ICE UNIT	NOT USED	ADVANCE TABCO	DISLCP-3	-	-	-	-	-	-	.5	.5	1"	-	-	-	DRAIN TO FLOOR SINK
51	1	Cocktail Station	NOT USED	Glastender	CS-42X26-CW	-	-	-	-	-	-	.5	.5	1"	-	-	-	DRAIN TO FLOOR SINK
52	1	WASTE / SINK / CABINET	NOT USED	GLASTENDER	SWB-24L-C	-	-	-	-	-	-	.5	.5	1"	-	-	-	DRAIN TO FLOOR SINK
53	1	DRAFT BEER COOLER	ATOSA USA, INC.	MKC58GR	115	1	2.3	-	-	-	-	-	-	-	1"	-	-	DRAIN TO FLOOR SINK

NOTE: NOT ALL ITEMS IN THIS SCHEDULE ARE USED.



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Tequesta, Florida 33469



WILLIAM TRACY, #AR0014756

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2020 FLORIDA BUILDING CODE, 7TH ED.;
EXISTING BUILDING, BUILDING, PLUMBING,
FUEL GAS, MECHANICAL - TEST PROTOCOLS
FOR HIGH VELOCITY HURRICANE ZONES,
ACCESSIBILITY AND ENERGY

2017 NATIONAL ELECTRICAL CODE
NFPA 70

FLORIDA FIRE PREVENTION CODE, 7TH EDITION
(INCLUDING NFPA 1, 2012 AND 101, 2012 EDITION)
WITH FLORIDA AMENDMENTS

PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:

DATE: 11/29/2022

SCALE: VARIES

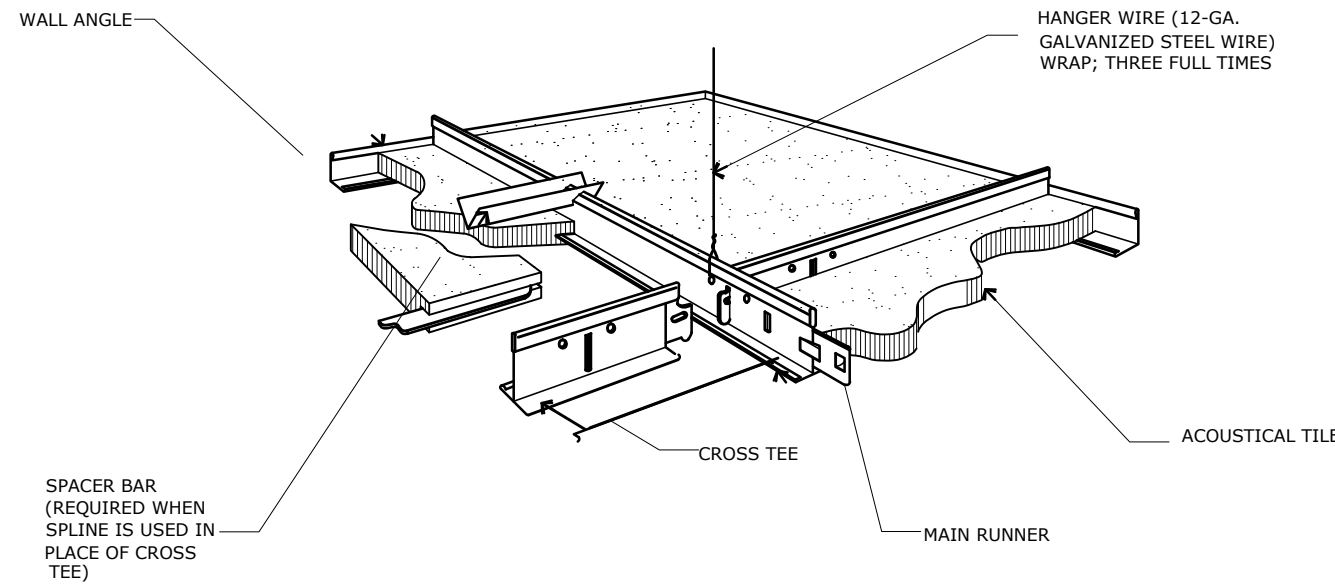
DRAWN BY: Paul Davis

ISSUED:

REVISIONS:

SHEET NO:

A-3



ACoustical CEILING TILE DETAIL

SUSPENDED GRID SYSTEM SHALL BE HOT DIPPED GALVANIZED STEEL "T" SECTION W/PRE-PAINTED CAPPING.

MAIN RUNNERS TO BE SPACES AT 48" O.C. AND SUSPENDED FROM EXISTING STEEL JOIST ROOF STRUCTURE USING PER-STRAIGHTENED 2mm DIA HDG STEEL WIRE HANGERS AT 48" O.C. FIRST HANGERS TO BE NO MORE THAN 18' FROM PERIMETER.

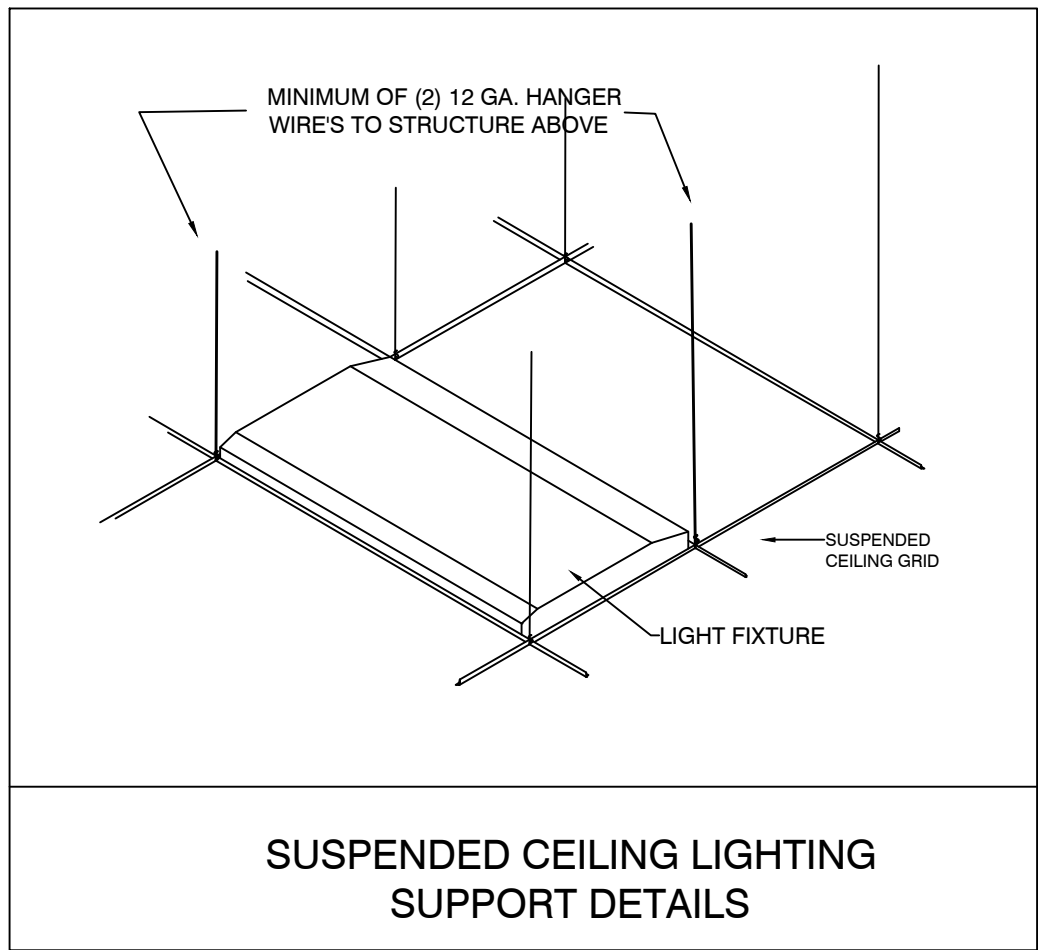
CROSS TEES SHALL BE INSTALLED PERPENDICULAR BETWEEN THE MAIN RUNNERS AT 24" O.C.

SCALE: NTS

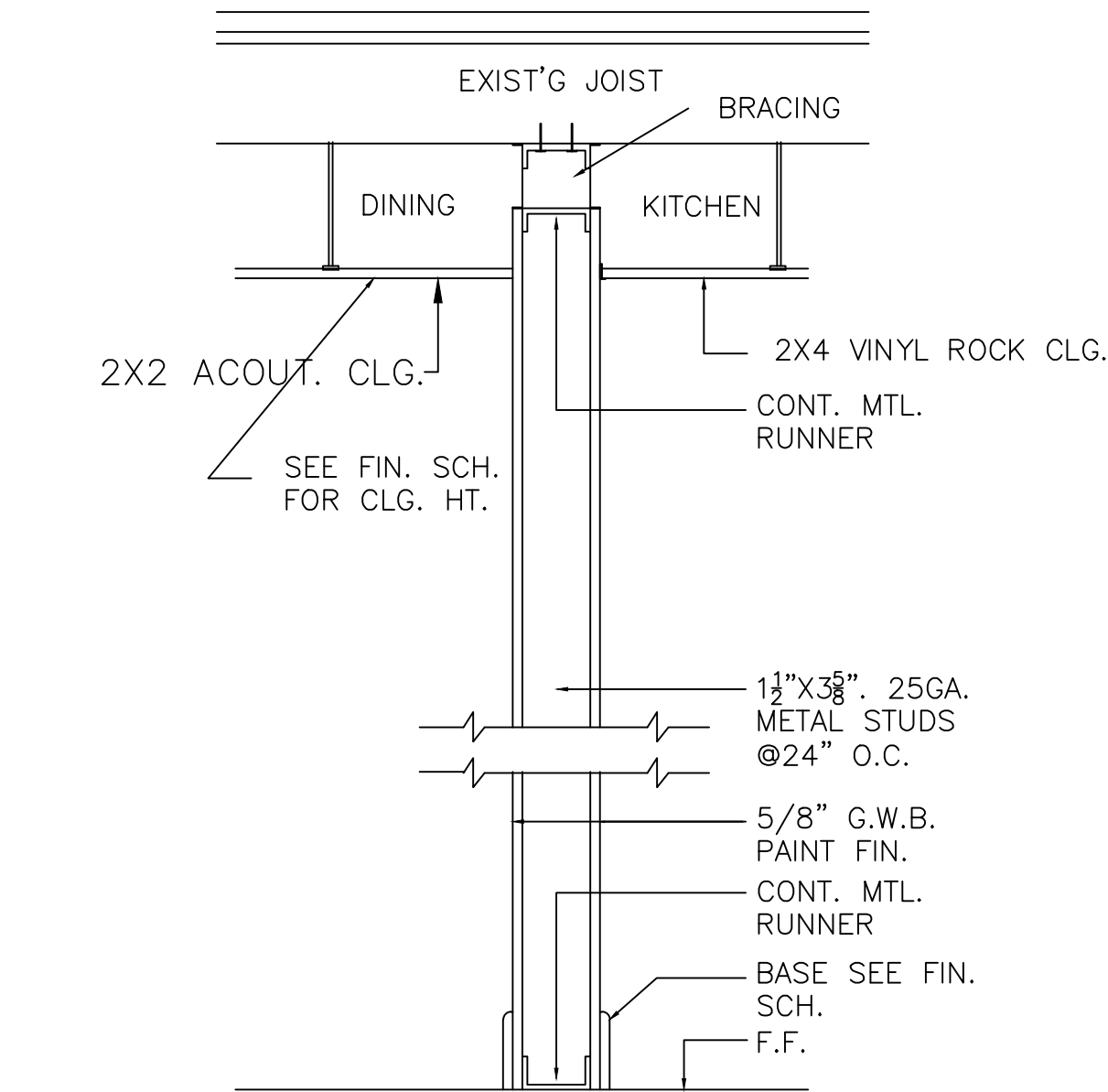
CEILING SYSTEM NOTE:

PER FBC 808.1.1
SUSPENDED ACOUSTICAL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C 635 AND ASTM C 636

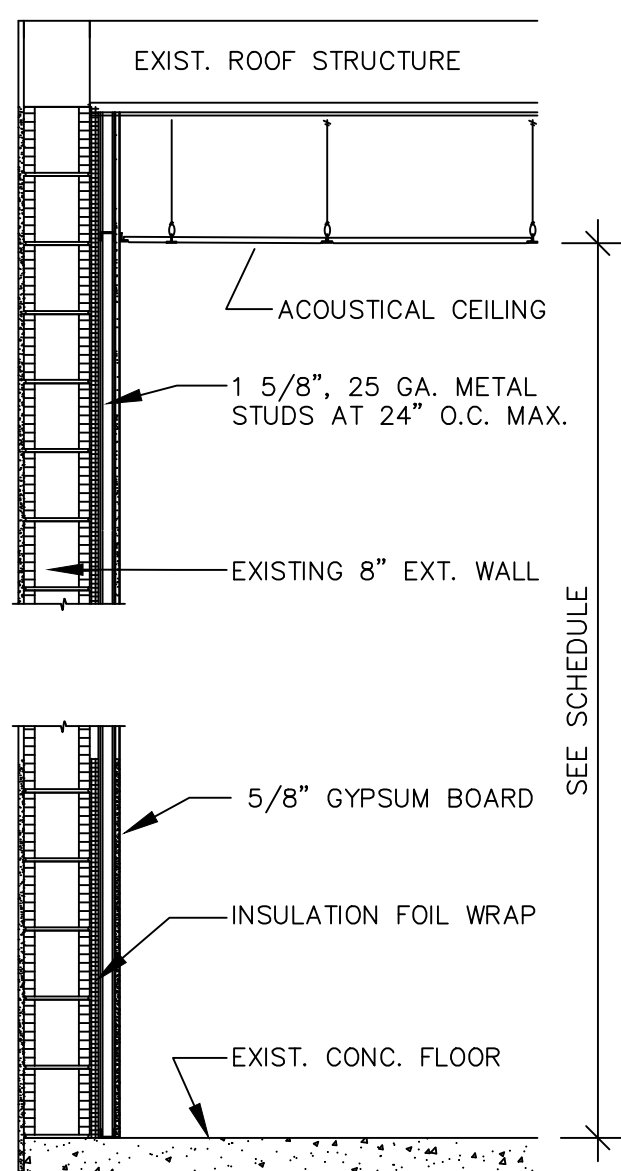
- CT- 1 VINYL FACED GYP. WHITE 2X4 PANELS
CT- 2 USG FROST - WHITE PAINTED GRIFFIN 2X2 PANELS



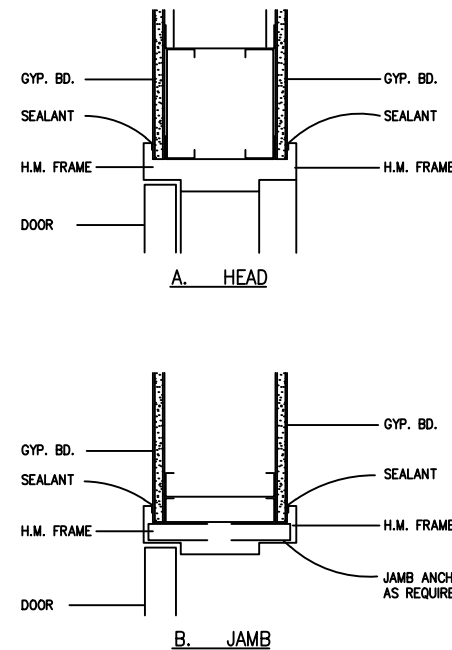
DOOR SCHEDULE									
DOOR NO.	SIZE		DOOR		FRAME			HARDWARE	REMARKS
	WIDTH	HEIGHT	THICK	TYPE	MAT.	FIN.	LABEL		
1	3'-0"	6'-8"	-	A	ALM	ALM	-	-	STORE FRONT DOORS
2	3'-0"	6'-8"	-	B	ALM	ALM	-	-	STORE FRONT DOORS
3	3'-0"	6'-8"	1 3/4"	D	MTL	MTL	-	2	INSTALL PEEP HOLE
4	3'-0"	6'-8"	1 3/4"	D	MTL	MTL	-	3	SET CLOSER FOR 5 FT PDS
5	3'-0"	6'-8"	-	F	ALM	MTL	-	-	ELIASON DOOR AND HARDWARE



WALL PARTITION "B"

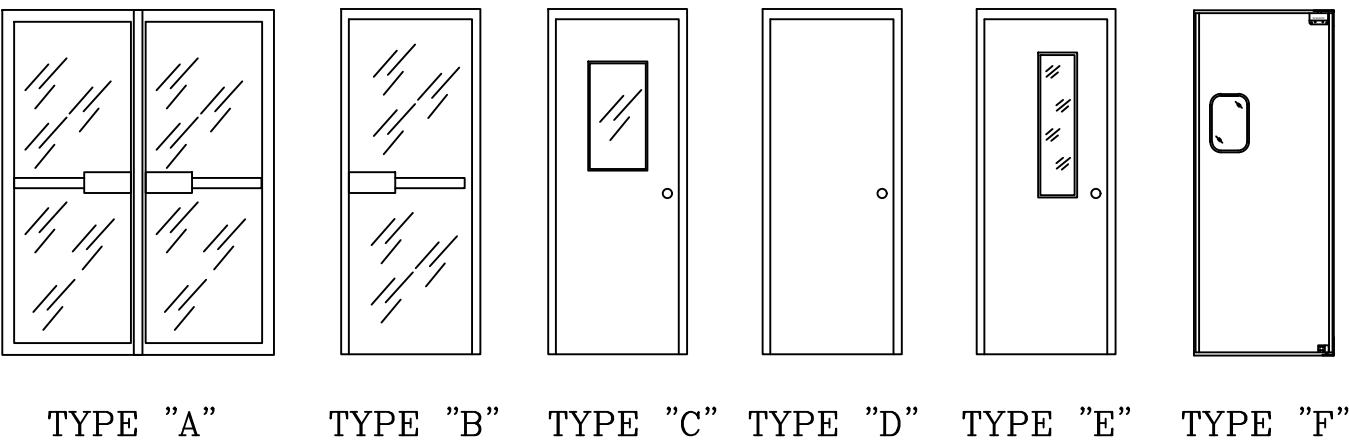


WALL PARTITION "F"
NOT TO SCALE



TYP. DOOR DETAIL
NOT TO SCALE

HARDWARE SCHEDULE	
GROUP 1:	ENTRANCE LOCKSET
GROUP 2:	ENTRANCE LOCKSET 1-1/2" PAIR HINGES 4 1/2" X 4 1/2" 1 ENTRANCE LOCKSET W/ LEVER HANDLES 1 SURFACE MOUNTED CLOSER 1 W.P. THRESHOLD
GROUP 3:	PRIVACY LOCKSET 1-1/2" PAIR HINGES 4 1/2" X 4 1/2" 1 PRIVACY LOCKSET / WITH LEVER HANDLES 1 SURFACE MOUNTED CLOSER FINISH TO BE SATIN CHROME
GROUP 4:	ENTRANCE LOCKSET 1-1/2" PAIR HINGES 4 1/2" X 4 1/2" EA. DOOR 1 SURFACE MOUNTED CLOSER FINISH TO BE SATIN CHROME
GROUP 5:	PASSAGE LOCKSET 1-1/2" PAIR HINGES 4 1/2" X 4 1/2" 1-LOCKSET / LEVER HANDLES FINISH TO BE SATIN CHROME
GROUP 6:	1-1/2" PAIR HINGES 4 1/2" X 4 1/2" 1 SURFACE MOUNTED CLOSER 1 PUSH PLATE 1 PULL PLATE



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FLORIDA LICENSE #: AA26000521
P.O. Box 4376
Tequesta, Florida 33469



WILLIAM TRACY, #AR0014756

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EXISTING BUILDING, BUILDING, PLUMBING, FUEL GAS, MECHANICAL, TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES, ACCESSIBILITY AND ENERGY
2017 NATIONAL ELECTRICAL CODE NFPA 70
FLORIDA FIRE PREVENTION CODE, 7TH EDITION (INCLUDING NFPA 1, 2012 AND 101, 2012 EDITION) WITH FLORIDA AMENDMENTS

PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:

DATE: 11/29/2022

SCALE: VARIES

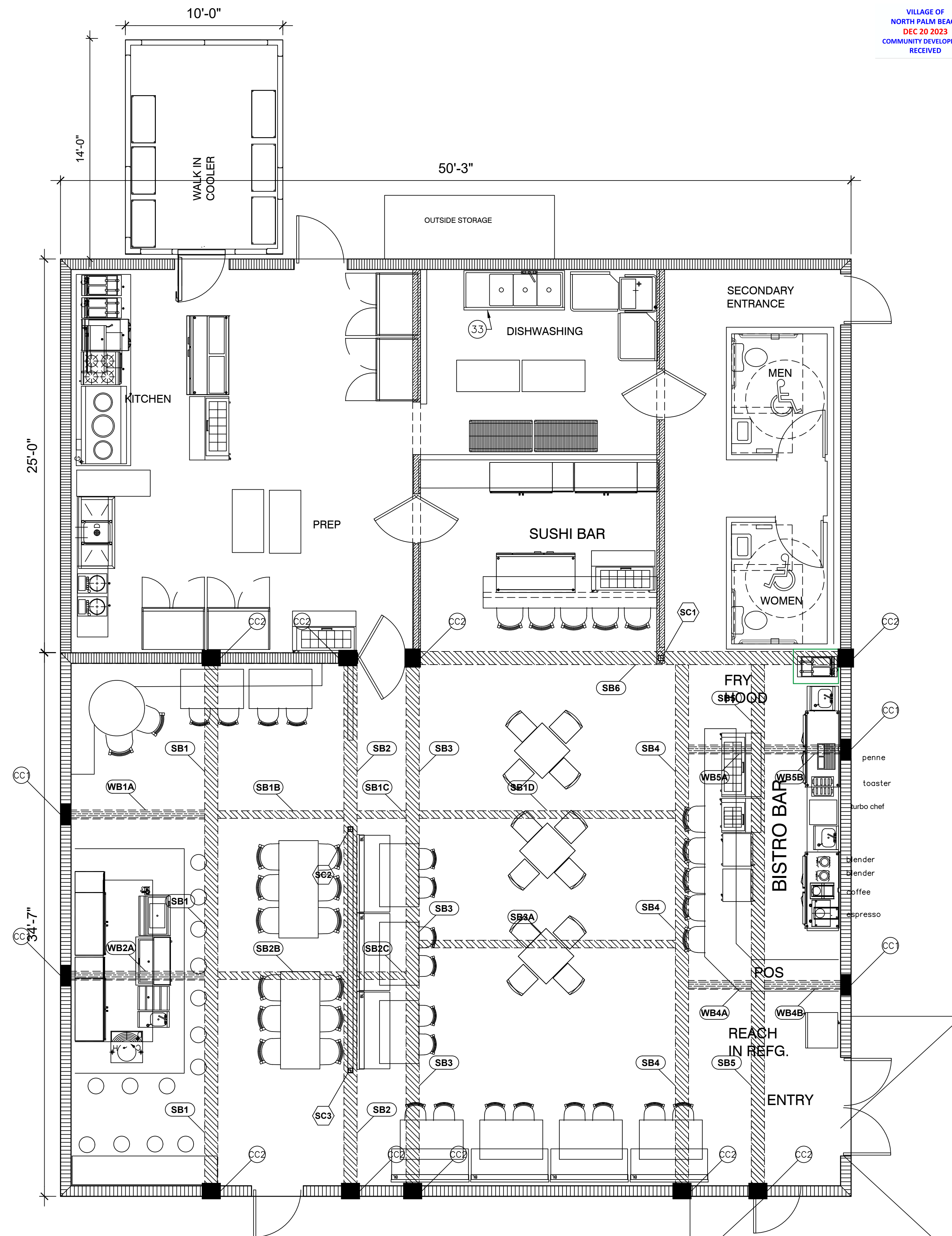
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REVISIONS:

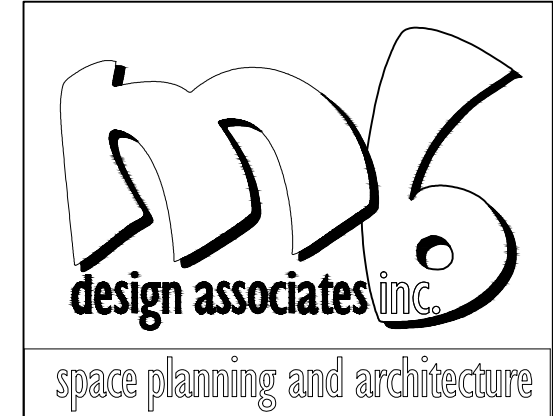
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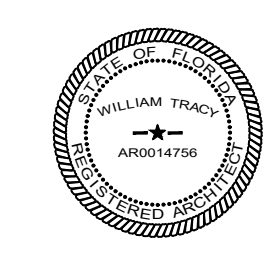


COLUMN/BEAM PLAN
1/4" = 1'-0"

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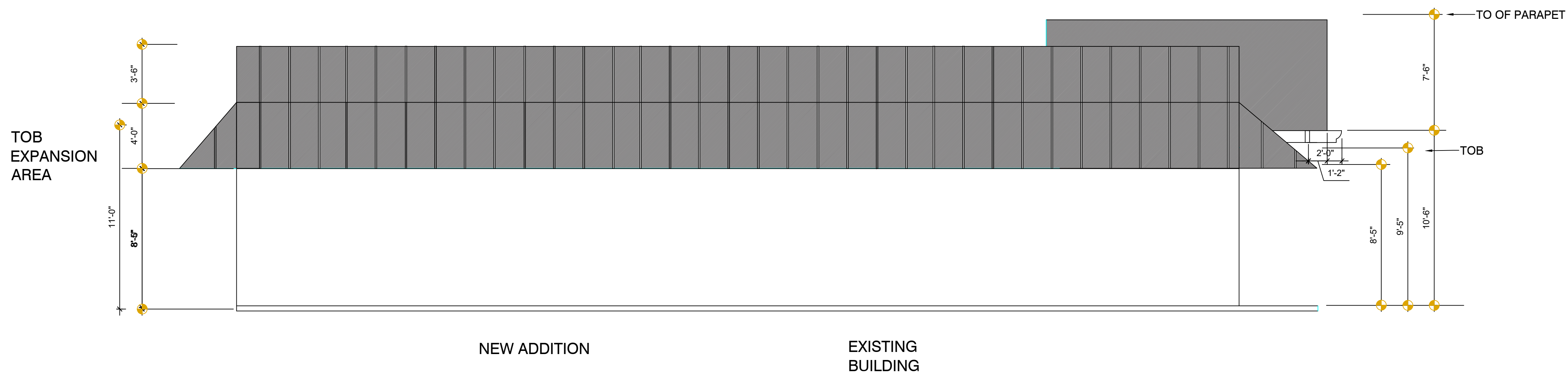
PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
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NORTH PALM BEACH, FL.

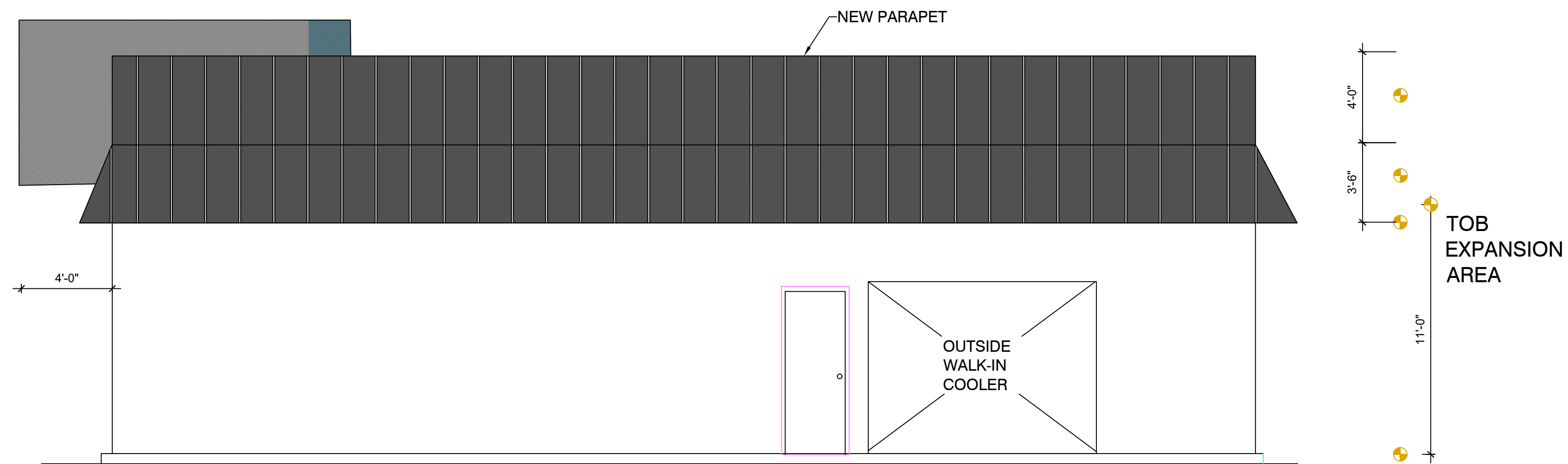
JOB #:
DATE: 11/29/2022
SCALE: VARIES
DRAWN BY: Paul Davis

ISSUED:	REVISIONS:

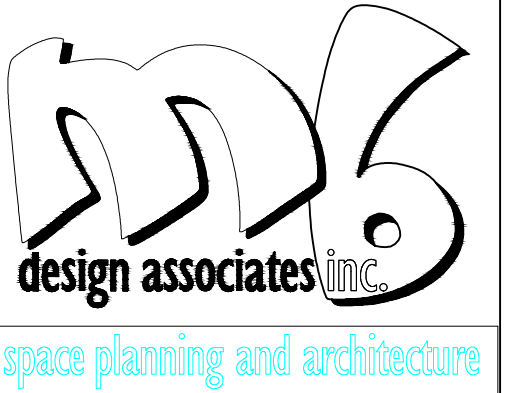
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A-5



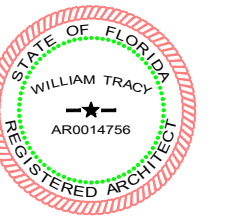
WEST ELEVATION



NORTH ELEVATION



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NORTH PALM BEACH, FL.

JOB #:

DATE: 4/12/2023

SCALE: VARIES

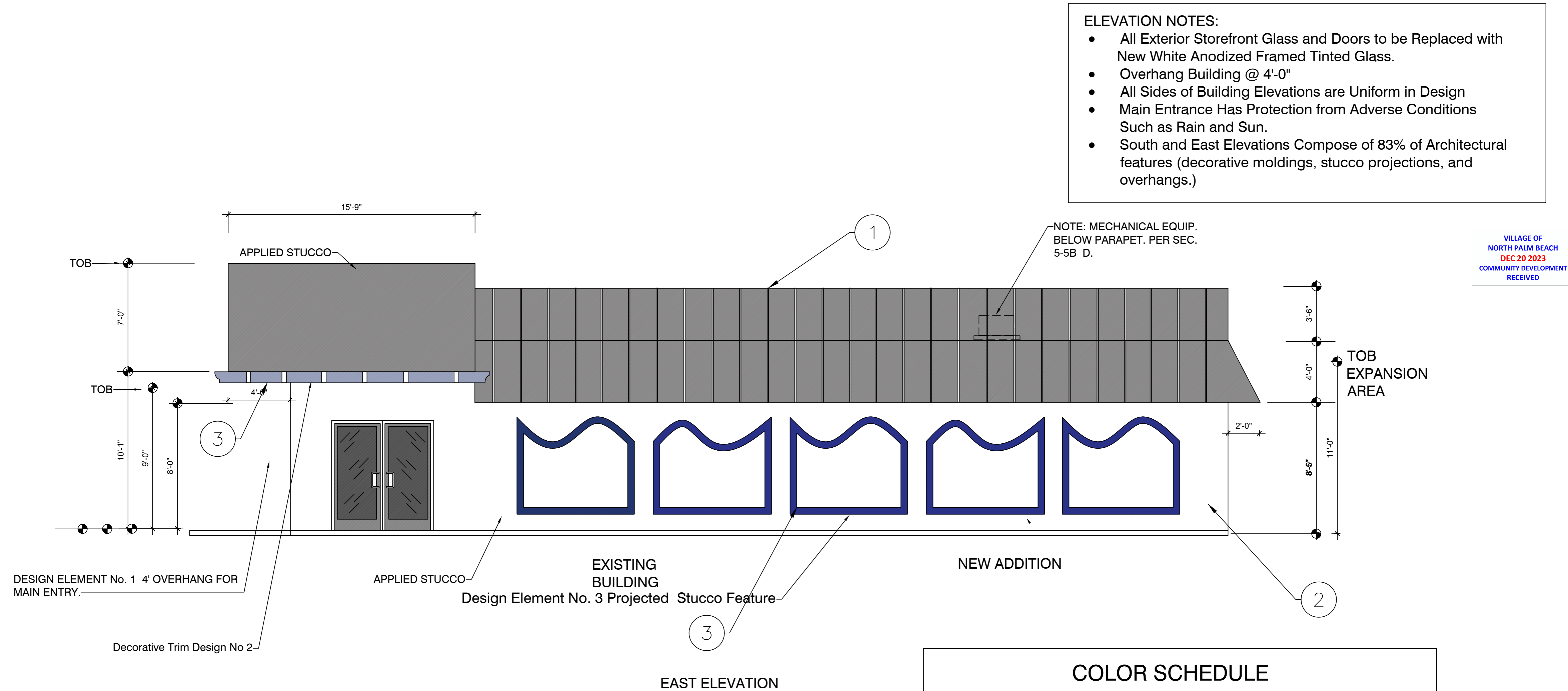
DRAWN BY: Paul Davis

ISSUED:

REVISIONS:

SHEET NO:

A-6



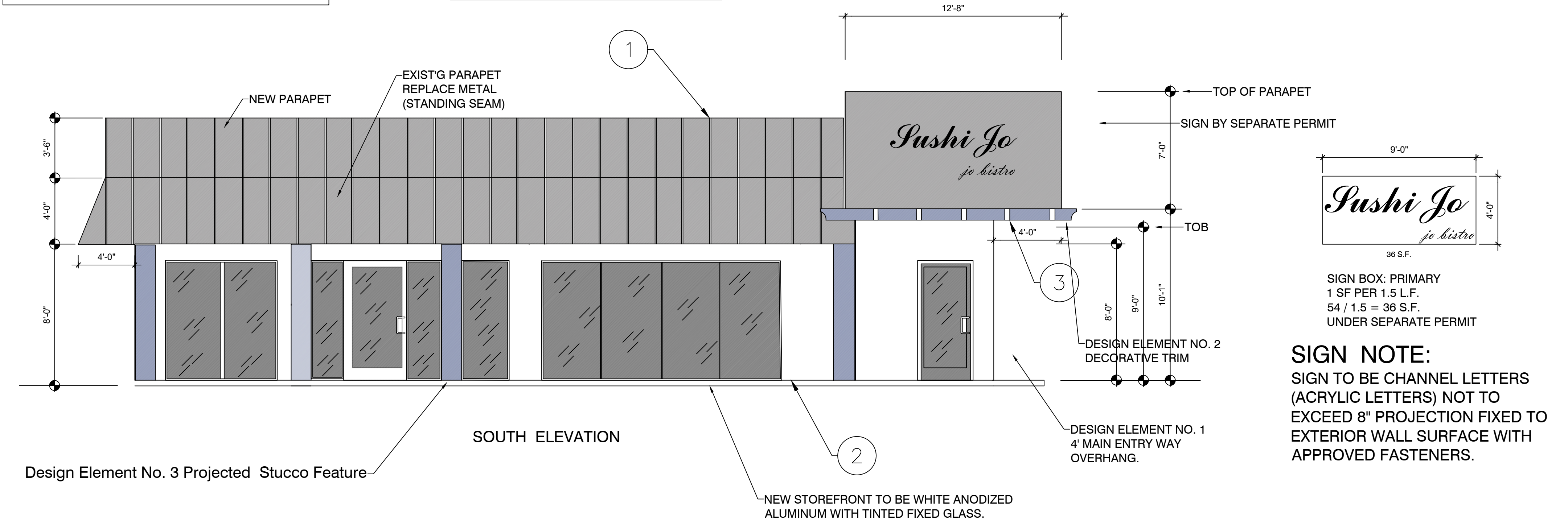
SOUTH AND EAST WALL CALCULATIONS:

PER 5-6D	FACADE, TRIM, BANDING,
	STOREFRONT = 72%
PER 5-6F	METAL PARAPET = 42%
	STUCCO WALLS = 58%

WALL AREA CALCULATIONS:

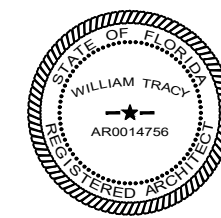
PRIMARY COLOR	1043 SF
SECONDARY COLOR	196 SF 18%
TRIM COLOR	77.4 SF 7%

COLOR SCHEDULE			
	DESCRIPTION	COLOR	NUMBER
1	MANSARD	SHEFFIELD METALS	CHARCOAL GRAY
2	BUILDING EXT.	DUNE WHITE	BM 968
3	BUILDING TRIM	PADDINGTON BLUE	BM 791



space planning and architecture

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NFPA 70
FLORIDA FIRE PREVENTION CODE, 7TH EDITION
(INCLUDING NFPA 1, 2012 AND 101, 2012 EDITION)
WITH FLORIDA AMENDMENTS

PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:
DATE: 9/6/2023
SCALE: VARIES
DRAWN BY: Paul Davis

ISSUED:
REVISIONS:

SHEET NO:
A-7

GENERAL ELECTRICAL NOTES

- DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFIRM WITH OWNERS REPRESENTATIVES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE (NFPA 70), 2017 EDITION OF NFPA 72, 2014 EDITION OF NFPA 75, 2017 6TH EDITION OF THE FIRE PREVENTION CODE INCLUDING 2020 EDITION OF NFPA 1 & NFPA 101, 2020 EDITION OF NFPA 110, AND 2020 7TH EDITION OF FBC.
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THHN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THWN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THWN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS MUST COMPLY WITH ARTICLE 310 OF THE N.E.C.

A. TYPE MC CABLE, AS CONTRACTOR ALTERNATE BID, CU WITH INTERNAL GROUND, IS ACCEPTABLE FOR USE AS DWELLING UNIT ONLY BRANCH CIRCUIT WIRING FOR 20 AMPS OR LESS AND CONCEALED IN WALLS OR ABOVE SUSPENDED CEILING AND AS APPROVED BY THE AUTHORITY HAVING JURISDICTION FOR THIS CONSTRUCTION CLASSIFICATION.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
- THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
- ALL MATERIALS SHALL BE NEW AND SHALL BEAR U.L. LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENCED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR.
- THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY AND TELEPHONE COMPANY.
- CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE ELECTRICAL CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS AND VERIFY SERVICE REQUIREMENTS.
- SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.
- FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY OWNER.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS.
- ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF ENGINEER/ARCHITECT.
- ALL ROUTING SHALL BE CONCEALED IN FINISHED SPACES.

ELECTRICAL SYMBOL LEGEND

	110V RECEPTACLE		DISCONNECT
	QUAD-PLEX RECEPTACLE		ELECTRICAL CIRCUIT BREAKER
	WATER PROOF RECEPTACLE		FACTORY INSTALLED DISCONNECT
	GROUND FAULT CIRCUIT INTERRUPTER		ELECTRICAL PANEL
	RECEPTACLE MOUNTED ABOVE COUNTER		ELECTRICAL METER
	220V RECEPTACLE		LIGHTING CONTROL TIME CLOCK/PANEL
	FLOOR RECEPTACLE WITH COVER PLATE, FLUSH WITH FLOOR		SWITCH
	CEILING RECEPTACLE		3-WAY SWITCH
	FLOOR RECEPTACLE/TELE/FAX/DATA WITH COVER PLATE, FLUSH WITH FLOOR		DIMMER
	FLOOR TELE/FAX/DATA PORT WITH COVER PLATE, FLUSH WITH FLOOR		OCCUPANCY SENSOR
	TEL./TV/DATA **		MOTOR RATED SPEED CONTROL
	CEILING TELE/FAX/DATA PORT **		PUSH BUTTON
	TELEVISION JACK **		SENSOR DOOR OPENER/CARD READER ** BY OTHERS
	JUNCTION BOX		ALARM BY OTHERS **
	POWER POLE		ISOLATED GROUND
	JUNCTION BOX (FIXTURE BY OWNER)		A.S.W. ABOVE SHOW WINDOW
	RECESSED JUNCTION BOX FOR SYSTEM FURNITURE TELEPHONE/DATA		C.M. CEILING MOUNTED
	EXHAUST FAN		A.C. ABOVE COUNTER
	THERMOSTAT		U.C. UNDER COUNTER
	REMOTE ALARM TEST STATION		A.F.F. ABOVE FINISHED FLOOR
	SMOKE DUCT DETECTOR		CLG. MOTION SENSOR (SHALL TURN OFF WITHIN 30 MIN OF OCCUPANT LEAVING THE SPACE)
	STEP DOWN TRANSFORMER		EXISTING - COORDINATE REPLACING COVER PLATES W/ OWNER/ARCH
	CENTRAL CONTROL PANEL		CEILING MOUNTED OCCUPANCY SENSOR
	LED 2X4 LIGHT (SIZE OF FIXTURE VARIES)		SENSOR SWITCH (MR, PDT) LINE VOLTAGE
	CEILING FAN		SURFACE MOUNT FIXTURE
	NEW		HANGING LIGHT FIXTURE (BY OWNER)
	EXISTING		CEILING MOUNTED J BOX
	RELOCATE		RECESSED "CAN" "6" FIXTURE LED
			SCONCE - WALL MOUNT FIXTURE
			BATT. BACK-UP EMERG. FIXTURE
			EXIT FIXTURE / WALL OR CLG. MOUNTED
			EXIT / EMERG. COMBO FIXTURE

* NOTE: ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT
** PROVIDE 3/4" C WITH PULL WIRE UNLESS OTHERWISE NOTED. STUB UP 6" ABOVE CEILING.

NOTES:
RECEPTACLES ARE TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.
SWITCHES ARE TO BE MOUNTED AT 48" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.
ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL EXISTING CONDITIONS.

NOTE:

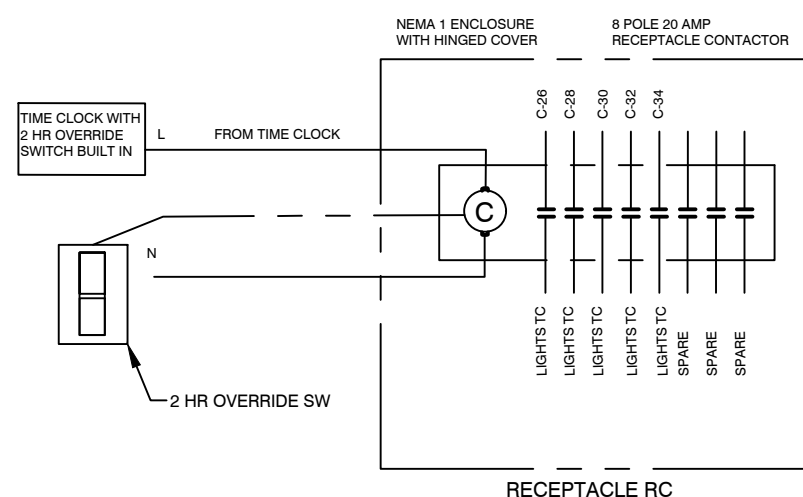
ALL LIGHTING CIRCUITS TO GO TO LIGHTING CONTRACTOR PANEL WITH TIMER PER FBC-EC 505.2.2

ALL EXTERIOR SIGNAGE/FIXTURES TO BE CONTROLLED BY PHOTOCELL/ ASTRONOMICAL TIME CLOCK

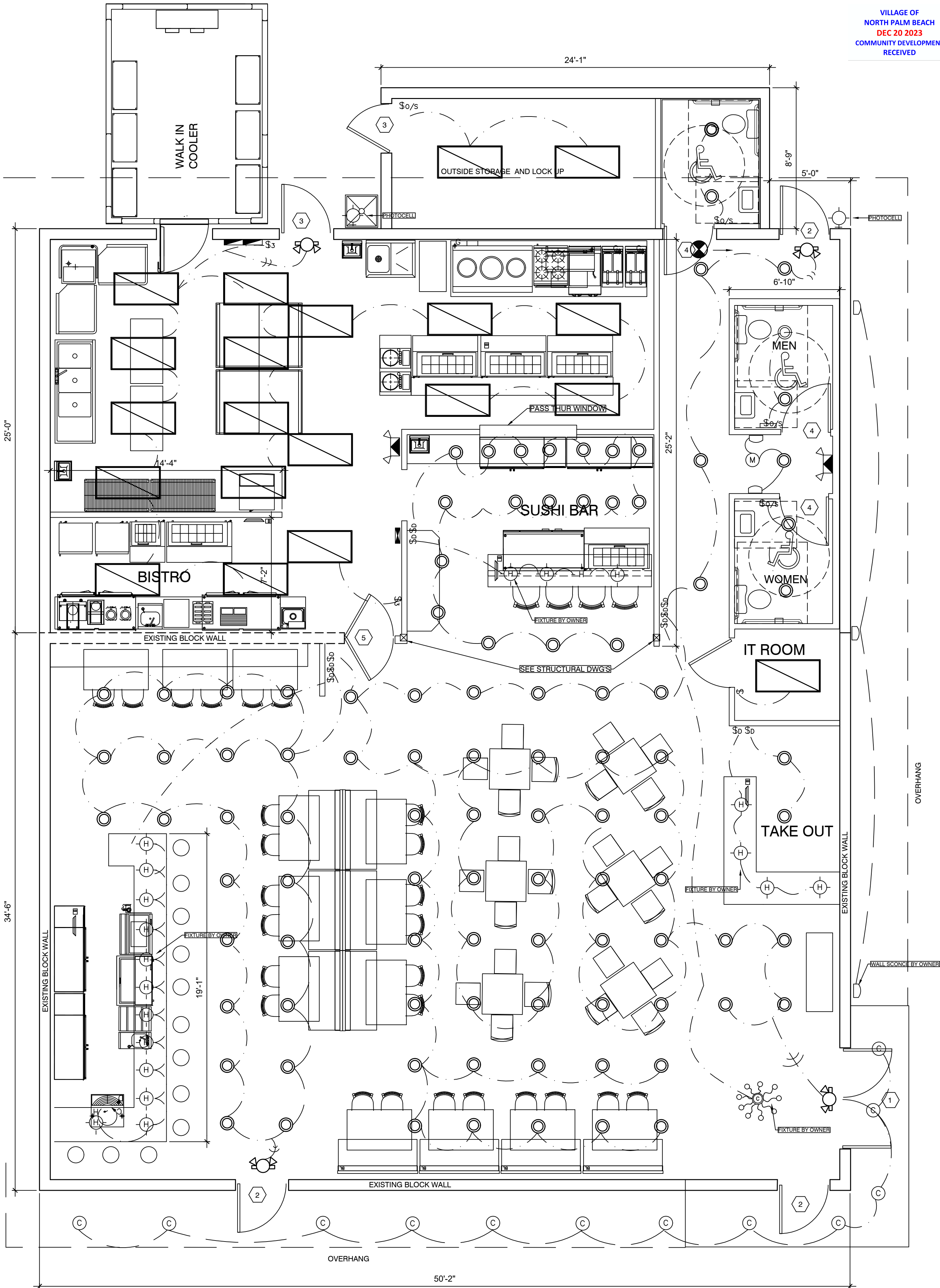
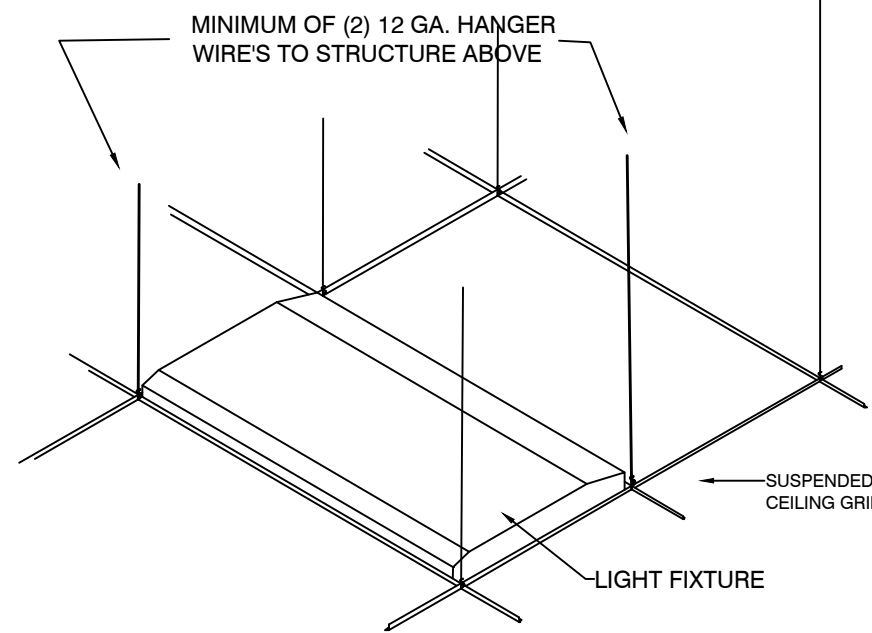
FIXTURES TO BE CONTROLLED BY LIGHTING CONTROL PANEL

TO BE CONTROLLED BY OCCUPANCY/ VACANCY SENSORS (DINING)

CONTRACTOR TO COORDINATE LOCATION WITH OWNERSHIP AND POWER WITH MANUFACTURER SPECIFICATIONS, COORDINATE WITH ALL TRADES



SUSPENDED CEILING LIGHTING SUPPORT DETAILS



LIGHTING PLAN

1/4" = 1'-0"

VILLAGE OF
NORTH PALM BEACH
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MB DESIGN ASSOCIATES, INC.
FLORIDA LICENSE # AA26000521
P.O. Box 4376
Tequesta, Florida 33469



WILLIAM TRACY, #AR0014756

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2020 FLORIDA BUILDING CODE 7TH ED.
EXISTING BUILDING, BUILDING, PLUMBING, FUEL GAS, MECHANICAL - TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES, ACCESSIBILITY AND ENERGY
2017 NATIONAL ELECTRICAL CODE NFPA 70
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PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:

DATE: 8/30/2022

SCALE: VARIES

DRAWN BY: Paul Davis

ISSUED:

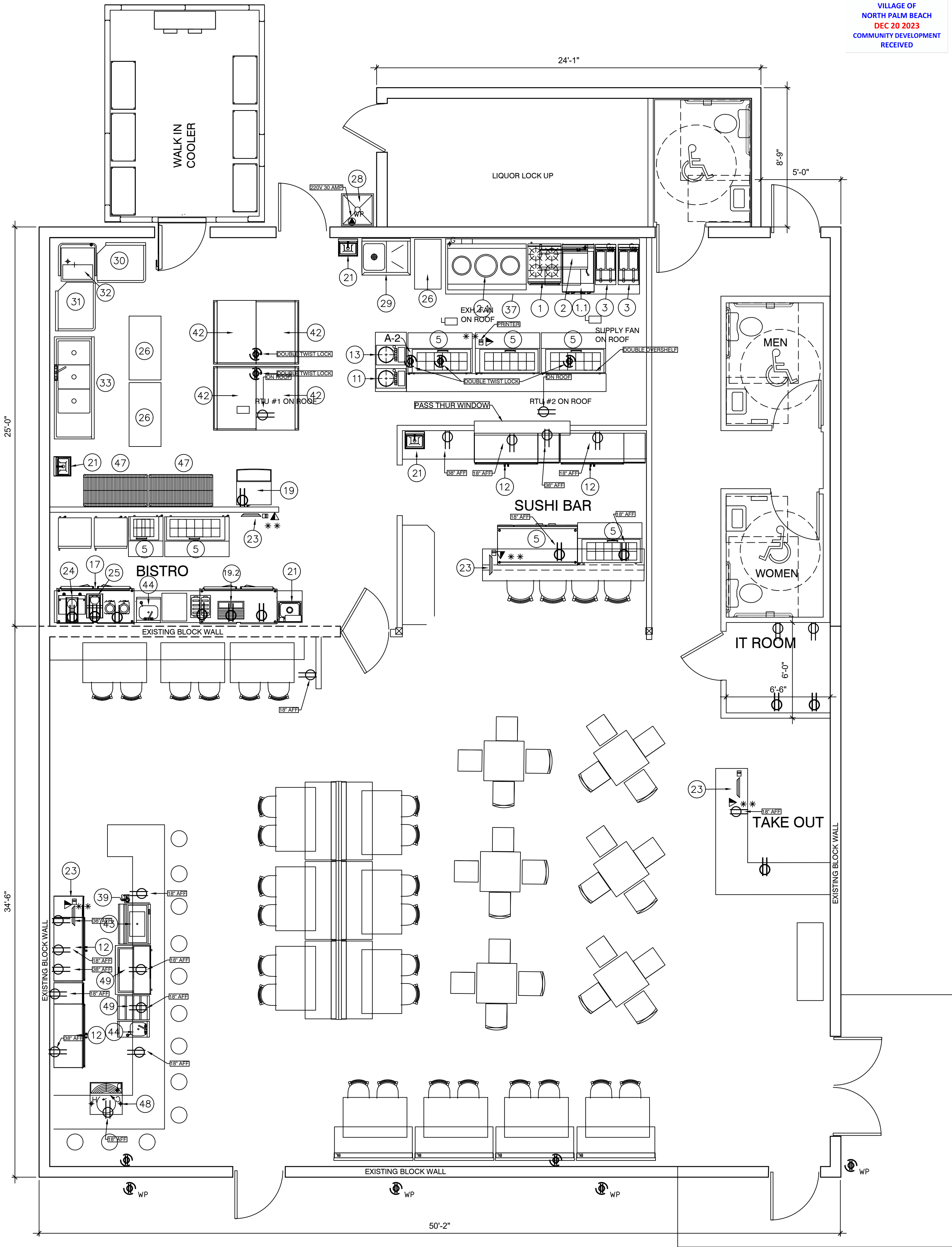
REVISIONS:

SHEET NO:

E-1

EQUIPMENT SCHEDULE		
Item No	Qty	Equipment Category
1	1	GAS RANGE 4 BURNER
1.1	1	COUNTERTOP CHARBROILER
2	1	SALAMANDER
2.1	1	RANGE, WOK
3	2	Fryer, Deep Fat, Gas
3.1	3	STOCK POT RANGE
4	1	CONVECTION OVEN
5	5	REFRIGERATED PREP
6	1	HOT FOOD TABLE
7	1	MICROWAVE
8	1	REFRIGERATED CHEF BASE
9	1	MEAT DISPLAY CASE
10	1	COLD BUFFET TABLE
11	1	RICE COOKER
12	4	DISPLAY COOLER
13	1	RICE COOKER
14	1	FOOD PROCESSOR/BLENDER
15	1	WATER FILTER
16	2	ICE PLATE W/COLD BIN (BY VENDOR)
17	2	UNDERCOUNTER REFG.
18	1	SODA / ICE BY VENDOR
19	1	ICE MACHINE
19.1	2	HALF SIZE CONVECTION OVEN
19.2	1	PANINI GRILL
19.3	1	UNDERCOUNTER FREEZER
20	1	DOUBLE OVERSHELF W/ HEAT LAMP
21	5	SINK, HAND, WALL MOUNT
22	1	TEA BREWER (BY VENDOR)
23	5	POS (PRINTER)
24	1	ESPRESSO
25	1	COFFEE MAKER
26	3	WORK TABLE
27	1	MOP SINK
28	1	MOP SINK
29	1	PREP SINK
30	1	CLEAN DISH TABLE
31	1	DIRTY DISH RINSE
32	1	DISHWASHING MACHINE
33	1	3 COMP. SINK
34	1	SOUP WARMER
35	1	PREP SINK 1 COMPARTMENT
36	1	ICE CREAM CASE
37	1	EXHAUST HOOD
38	1	GLASS FROSTER
39	1	SODA CARBONATOR SYSTEM
40	1	DROP IN HAND SINK
41	2	REACH IN REFG.
42	4	REACH IN FREEZER
43	1	ICE BIN
44	1	BLENDER STA. HAND SINK
45	1	DISPLAY GLASS DOOR REFG.
46	1	LIQUOR DISPLAY
47	1	STORAGE SHELVING
48	1	BAR GLASS WASHER
49	1	BOTTLE COOLER
50	1	DROP-IN ICE UNIT
51	1	Cocktail Station
52	1	WASTE / SINK / CABINET
53	1	DRAFT BEER COOLER

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	QUAD-PLEX RECEPTACLE		ELECTRICAL CIRCUIT BREAKER
	WP WATER PROOF RECEPTACLE		FACTORY INSTALLED DISCONNECT
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PROJECT NAME/LOCATION:

JO BISTRO & SUSHI BAR
529 NORTHLAKE BLVD.
NORTH PALM BEACH, FL.

JOB #:
DATE: 8/30/2022
SCALE: VARIES
DRAWN BY: Paul Davis

ISSUED: REVISIONS:

SHEET NO:
E-2

HOT & COLD WATER SIZING PER TABLE C404.5.1(2) F.B.C. 2020 (PLUMBING)					
FIXTURE TYPE	NO.	C.W.F.U./EA.	H.W.F.U./EA.	PER FIXTURE TOTAL	MULTIPLIED TOTAL
LAVATORY	2	15	15	30	6.0
WATER CLOSET	2	2.5	-	5.0	10.0
SERVICE SINK	1	2.25	2.25	2.25	2.25
DRINKING FOUNTAIN	1	0.50	-	0.50	0.50
TOTAL	6	-	-	-	18.75

TOTAL C.W.F.U. = 18.75
MINIMUM SIZE WATER SERVICE..... 1"

NOTE:
PROVIDE TEMPERATURE LIMITING DEVICES
AT ALL HAND SINKS AND LAVATORIES. WATTS
THERMOSTATIC MIXING VALVE (TMV)
LFMMV-M1 OR EQUAL LEAD-FREE BODY,
INTEGRAL FILTER WASHERS AND CHECK
VALVES, ADJUSTMENT CAP WITH LOCKING
FEATURE. SET @ 110°

SHOCK ARRESTOR SCHEDULE			
P.D.I. DESIGNATION	MANUF. & MODEL	FIXTURE UNITS	CONNECTION
A	SIoux CHIEF 652-A	1-11	1/2"
B	SIoux CHIEF 653-B	12-32	3/4"
C	SIoux CHIEF 654-C	33-60	1"
SIoux CHIEF SHOCK ARRESTORS, APPROVED FOR INSTALLATION WITH NO ACCESS DOOR REQUIRED. CONFORMS TO ANSI/ASSE 1010 STANDARDS.			

PLUMBING FIXTURE REQUIREMENTS 2020 FLORIDA BUILDING CODE, TABLE 403.1 FIXTURE COUNT: REQ'D./PROVIDED (X/X) OCCUPANTS (50% MEN, 50% WOMEN)							
OCCUPANCY GROUP / OCC COUNT	OCCUPANCY COUNT	WC / URINAL	LAVATORY	SHOWER	EMERGENCY EYE WASH	DRINKING FOUNTAIN	SERVICE SINK
ASSEMBLY	MEN: 30 WOMEN: 30	1/1 1/1	1/1 1/1		N/A N/A	N/A N/A	1/1 1/1

REQUIRED PLUMBING FIXTURES UNDER FBC PLUMBING TABLE 403.1						
CLASSIFICATION	OCCUPANCY	DESCRIPTION	WATER CLOSETS (URINALS SEE SECTION 419.2)		LAVATORIES (SEE SECTION 410.1)	
			MALE	FEMALE	MALE	FEMALE
Assembly	A-2	Restaurant, banquet hall, and food courts	1 per 75	1 per 75	1 per 200	1 per 500
					SEE NOTE #1	1 service sink

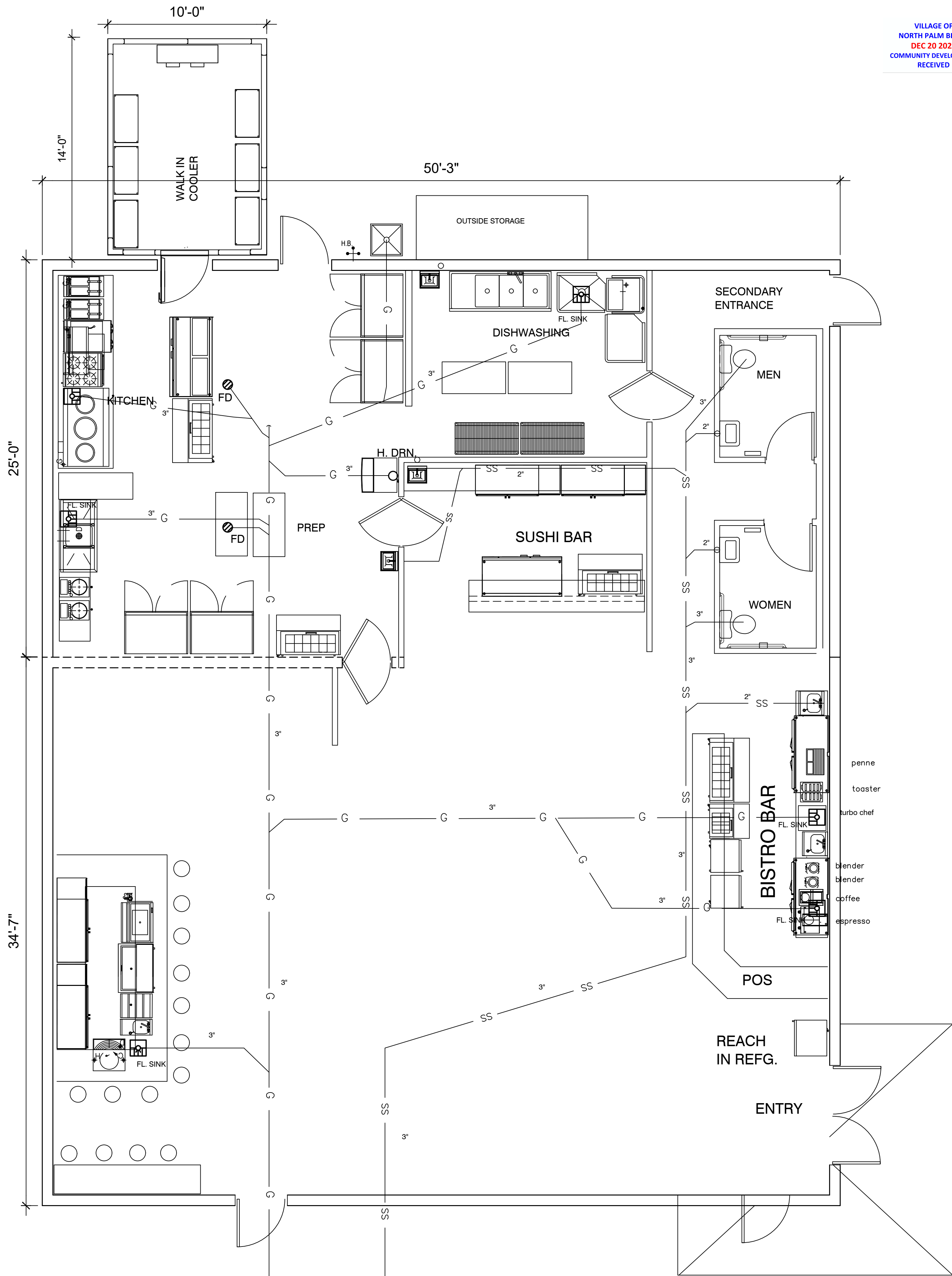
PROVIDED:
SEPARATE MENS AND WOMENS RESTROOMS WITH
1 WC & 1 LAVATORY EACH (2 WATER CLOSETS
AND 2 LAVATORIES TOTAL) AND 1 SERVICE SINK

NOTE NO. 1
410.4Substitution.
Where restaurants provide drinking water in a container
free of charge, drinking fountains shall not be required in
those restaurants. In other occupancies where drinking
fountains are required, water dispensers shall be
permitted to be substituted for not more than 50 percent
of the required number of drinking fountains.

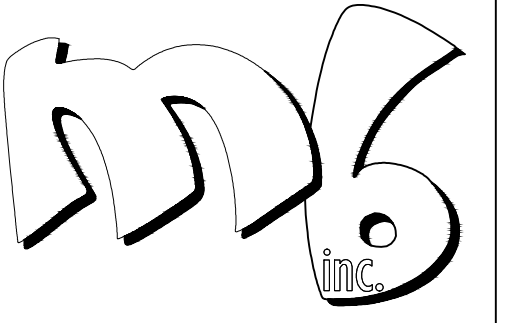
TABLE 604.4MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES AND FIXTURE FITTINGS

PLUMBING FIXTURE OR FIXTURE FITTING	MAXIMUM FLOW RATE OR QUANTITY ^b
Lavatory, private	2.2 gpm at 60 psi
Lavatory, public (metering)	0.25 gallon per metering cycle
Lavatory, public (other than metering)	0.5 gpm at 60 psi
Shower head ^a	2.5 gpm at 80 psi
Sink faucet	2.2 gpm at 60 psi
Urinal	1.0 gallon per flushing cycle
Water closet	1.6 gallons per flushing cycle

PLUMBING LEGEND	
	FILTERED COLD WATER LINE
	COLD WATER LINE
	EXISTING COLD WATER LINE
	HOT WATER LINE
	HOT WATER RETURN LINE
	110° HOT WATER LINE
	140° HOT WATER LINE
	SANITARY LINE
	EXISTING SANITARY LINE
	GREASE/WASTE LINE
	VENT LINE
	CONDENSATE LINE
	DRAIN LINE
	GAS LINE
	RAINWATER LEADER
	AIR LINE
	VACUUM LINE
	NITROUS OXIDE
	OXYGEN OXIDE
	EXTRA - AS NEEDED
	FLOOR DRAIN
	SHOCK ARRESTOR
	HUB DRAIN
	TRENCH DRAIN
	SHUT-OFF VALVE
	HOSE BIBB WITH S.O.V. & VACUUM BREAKER
	A.A.V. AIR ADMITTANCE VALVE
	CONNECTION POINT
	(E) EXISTING TO REMAIN

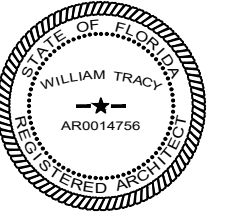


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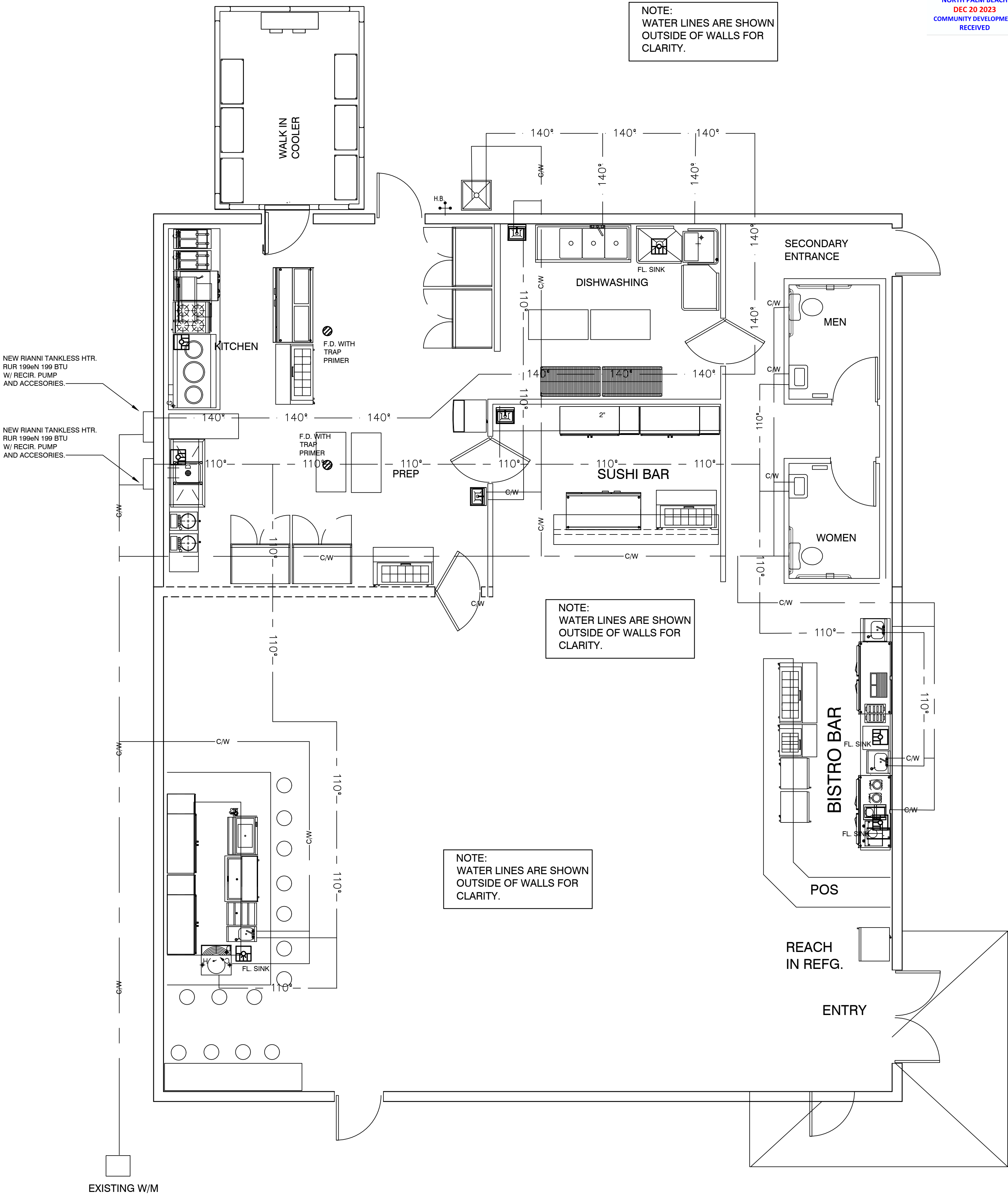
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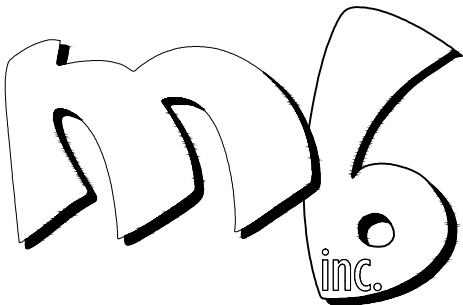
ISSUED: REVISIONS:

SHEET NO:
P-1

PLUMBING LEGEND	
	FILTERED COLD WATER LINE
	COLD WATER LINE
	EXISTING COLD WATER LINE
	HOT WATER LINE
	HOT WATER RETURN LINE
	110° HOT WATER LINE
	140° HOT WATER LINE
	SANITARY LINE
	EXISTING SANITARY LINE
	GREASE/WASTE LINE
	VENT LINE
	CONDENSATE LINE
	DRAIN LINE
	GAS LINE
	RAINWATER LEADER
	AIR LINE
	VACUUM LINE
	NITROUS OXIDE
	OXYGEN OXIDE
	EXTRA - AS NEEDED
	FLOOR DRAIN
	SHOCK ARRESTOR
	HUB DRAIN
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	SHUT-OFF VALVE
	HOSE BIBB WITH S.O.V. & VACUUM BREAKER
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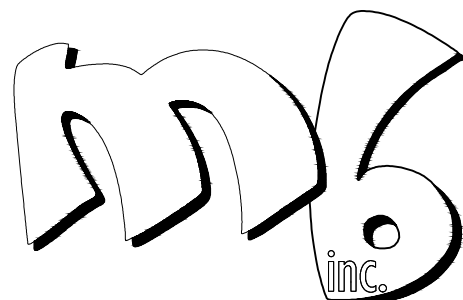
DRAWN BY: Paul Davis

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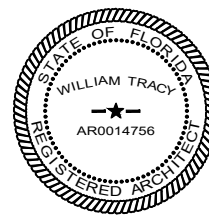
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NORTH PALM BEACH, FL.

JOB #:

DATE: 8/30/2022

SCALE: VARIES

DRAWN BY: Paul Davis

ISSUED:

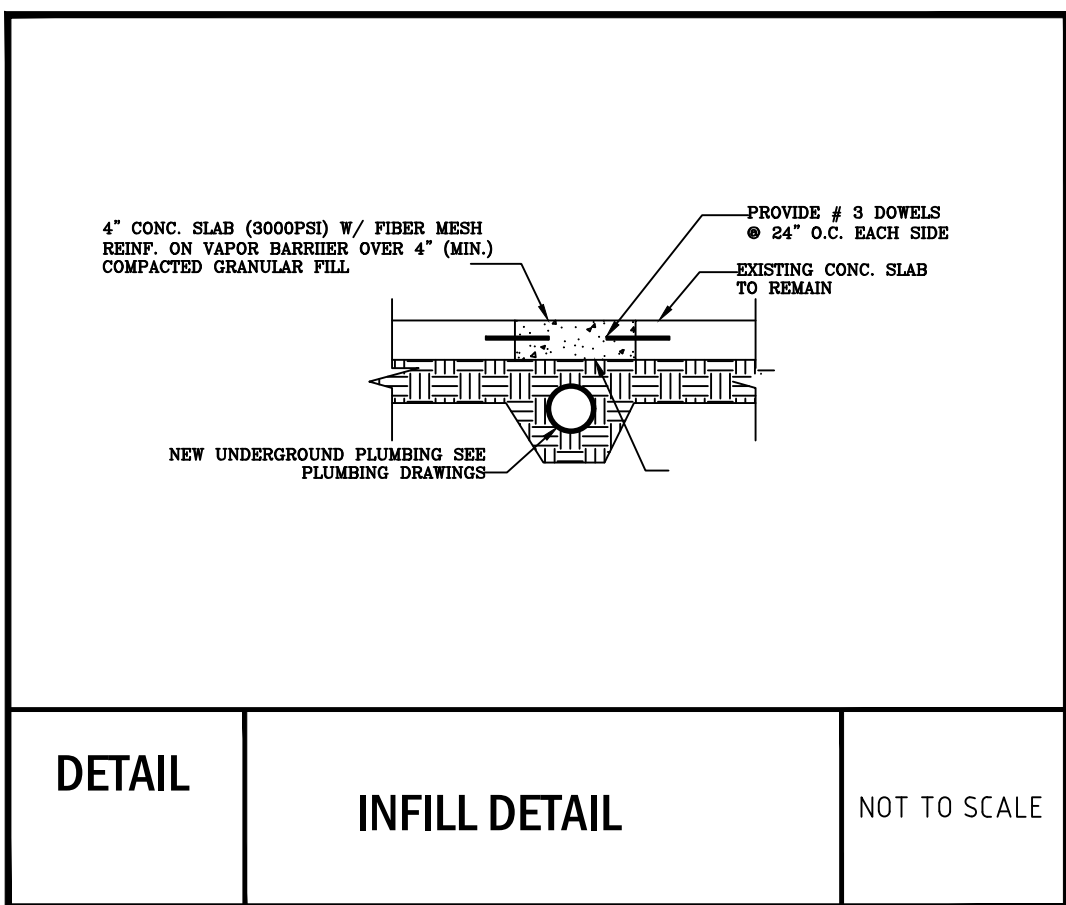
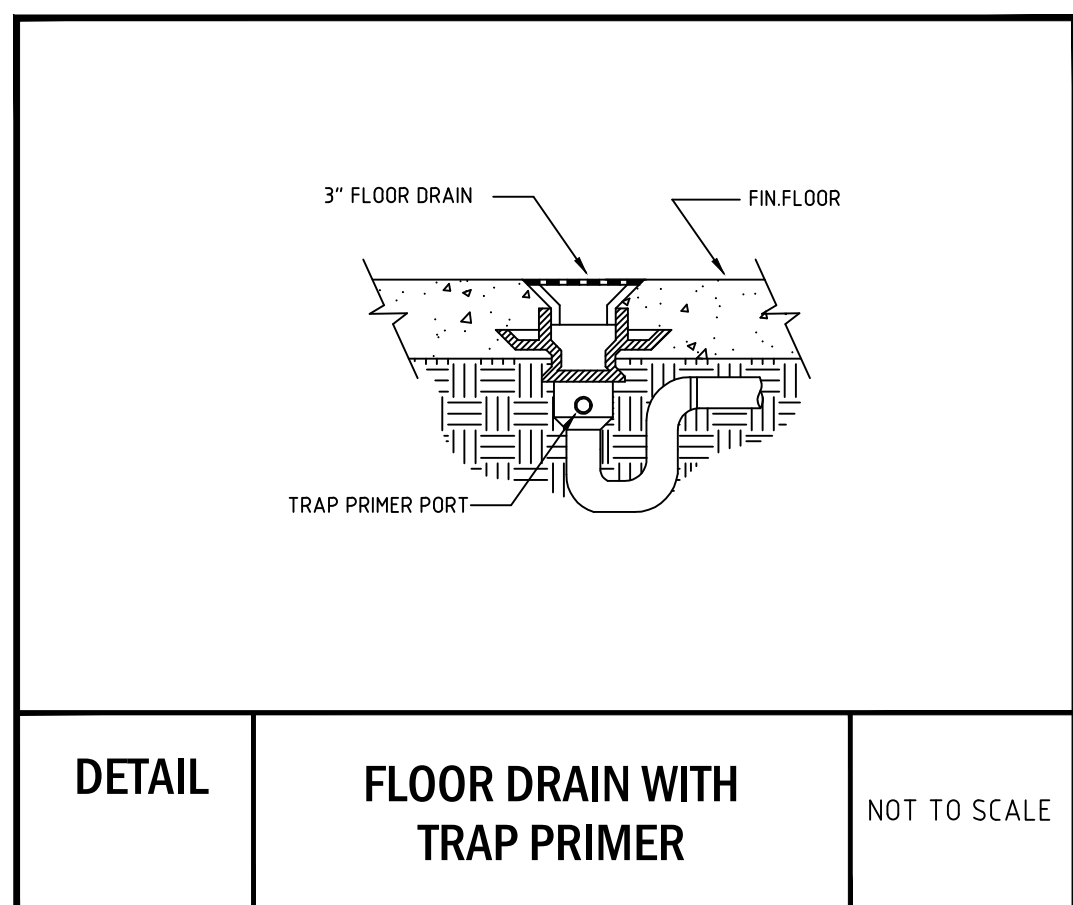
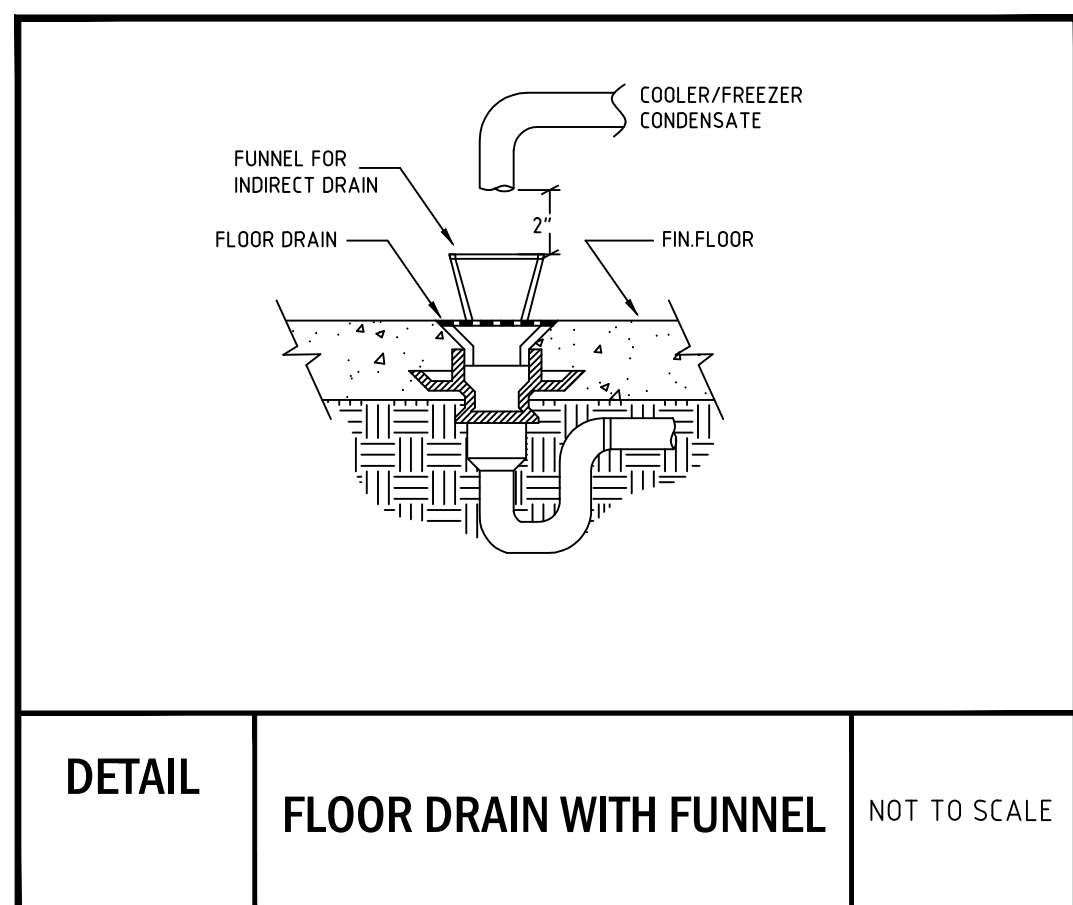
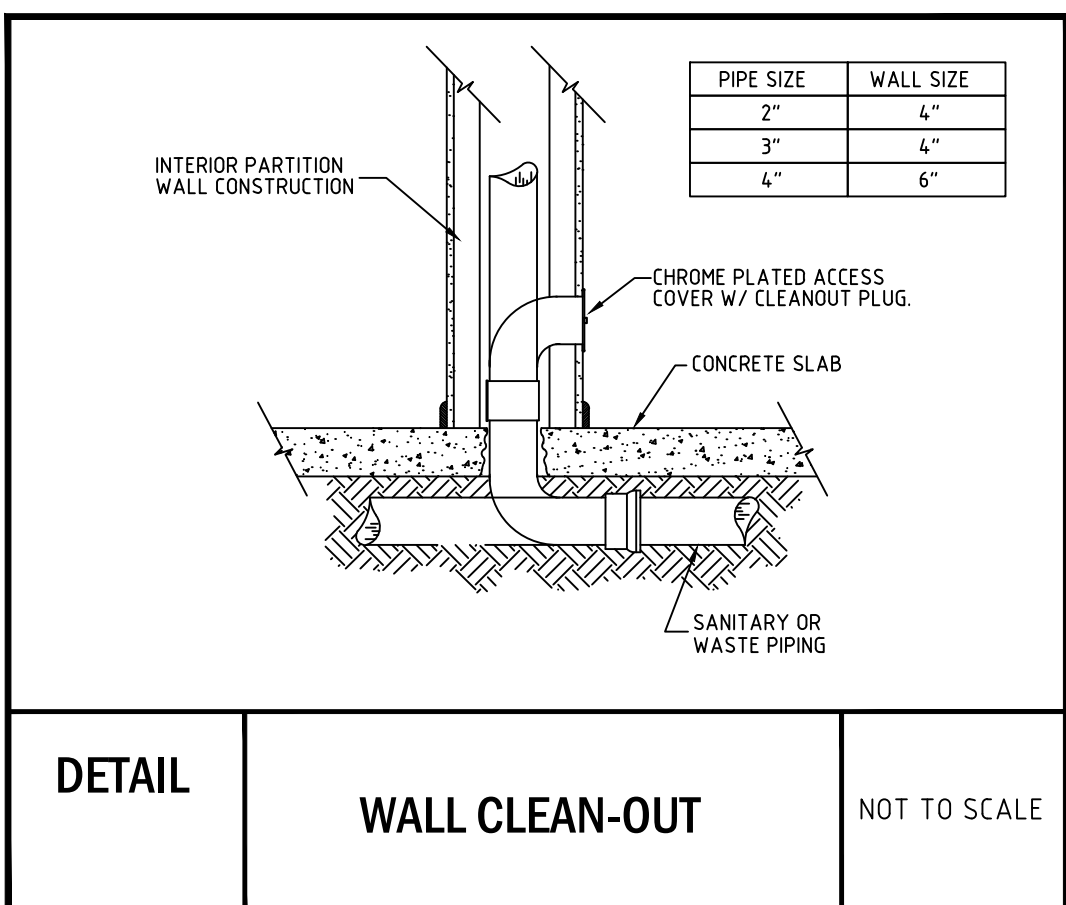
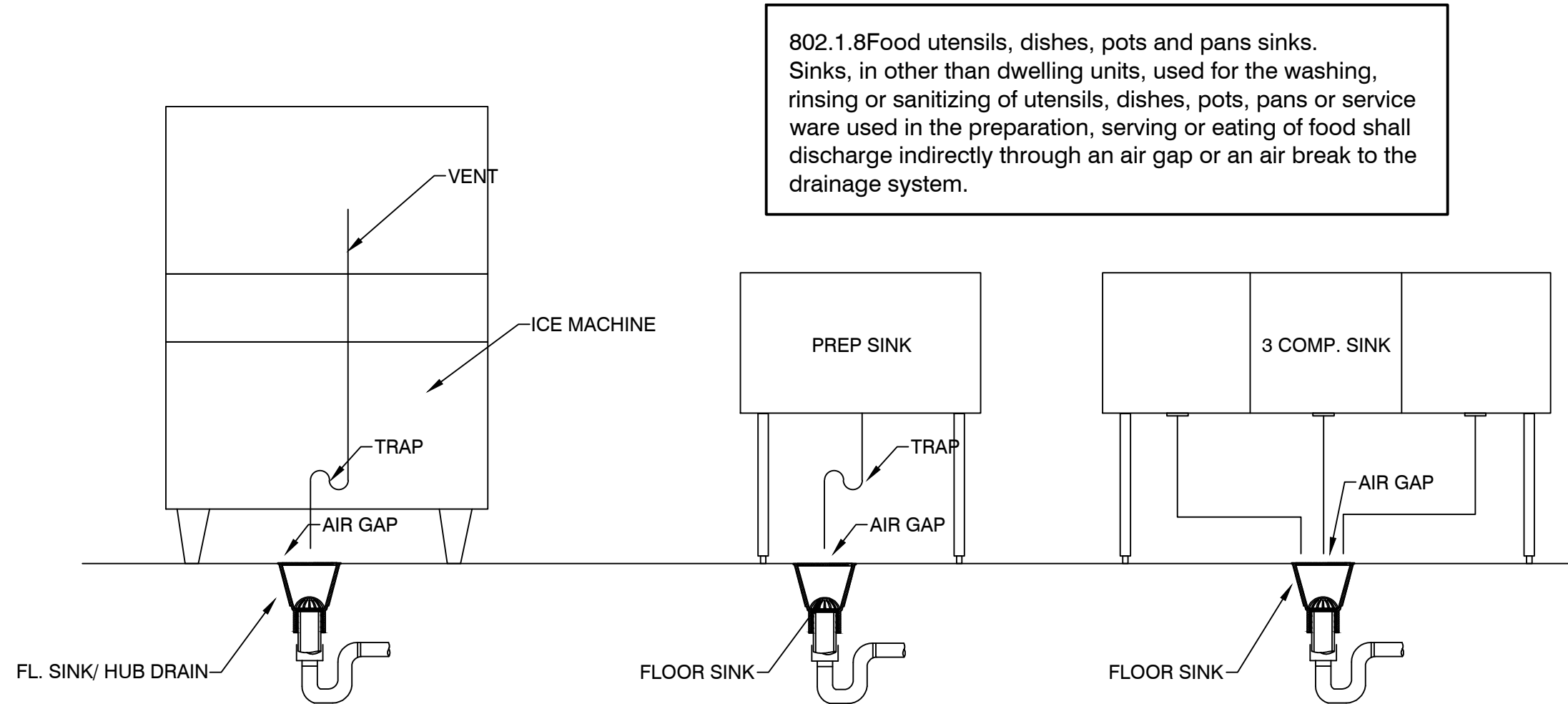
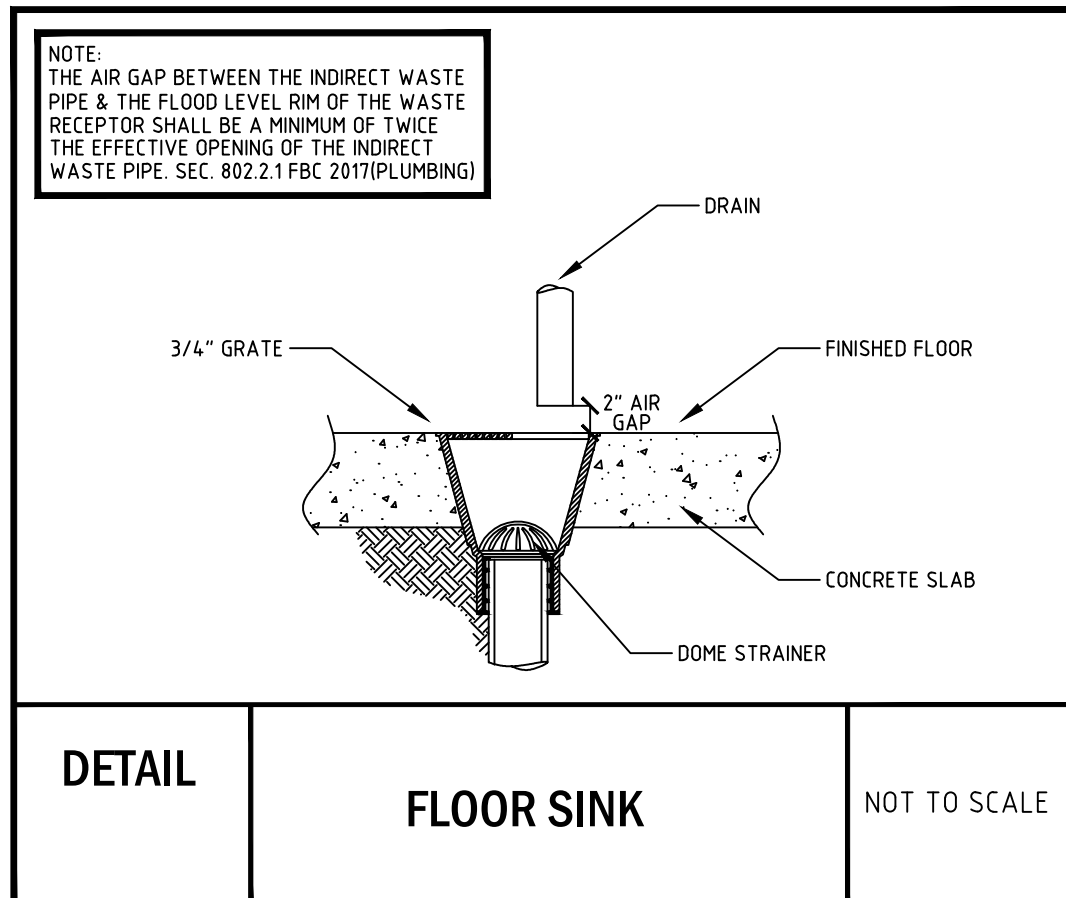
REVISIONS:

SHEET NO:

P-3

PLUMBING NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 7TH EDITION PLUMBING SECTION AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
- ALL WORKMANSHIP & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
 - CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
 - ALL MATERIALS SHALL BE NEW.
 - ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
 - ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS SUBCONTRACT.
 - REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
 - SUBCONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
 - EXISTING PIPE SIZES TO BE VERIFIED BY THE PLUMBER AND SHALL BE UPGRADED IF NOT LARGE ENOUGH TO ACCOMMODATE THE LOAD.
 - ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
 - SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
 - DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
 - DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
 - VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE SUBCONTRACTOR.
 - INSTALL SIOUX CHIEF 650 SERIES SHOCK ARRESTORS IN PIPING TO QUICK-CLOSING VALVES AS DEFINED IN FLORIDA PLUMBING CODE.
 - PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE. (IN COPPER)
 - ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
 - PROVIDE TEMPERATURE LIMITING DEVICES AT ALL HAND SINKS AND LAVATORIES. WATTS THERMOSTATIC MIXING VALVE (TMV) LPMV-M1 OR EQUAL LEAD FREE BODY. INTEGRAL FILTER WASHERS AND CHECK VALVES, ADJUSTMENT CAP WITH LOCKING FEATURE. ASSE 1017, ASSE 1069, ASSE 1070, AND 1APMD (UPC LISTED).
 - WATER SYSTEM TO COMPLY WITH THE MINIMUM CRITERIA OF FPC 604.3 AND APPENDIX E FOR THE WATER CAPACITY AT ALL FIXTURES.
 - CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO EQUIPMENT AND ACCESSORIES ARE MADE.
 - SANITARY PIPE 2" 1/2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 3" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
 - ALL FLOOR PENETRATIONS MUST BE SLEEVED, FIRE STOPPED, GROUTED, SEALED AND MADE WATERPROOF IN ACCORDANCE WITH THE LANDLORDS REQUIREMENTS. SLEEVES MUST EXTEND A MINIMUM OF 4" A.F.F. COORDINATE ALL CONCRETE TRENCHING/CORING TO ENSURE THAT ANY UNDER SLAB UTILITIES, ETC. ARE NOT DAMAGED DURING FLOOR CUT. ANY DAMAGE TO BE REPAIRED AT CONTRACTOR EXPENSE. CUTTING AND PATCHING ACTIVITIES WHICH CREATE NOISE MUST BE PERFORMED AFTER-HOURS SO LONG AS ANY OTHER TENANTS ARE OCCUPYING THE BUILDING. PRIOR APPROVAL AND COORDINATION WITH PROPERTY MANAGEMENT IS REQUIRED FOR ALL CONCRETE CUTTING.
 - DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT.
 - TYPE "M" OR TYPE "L" COPPER OR UPONOR AQUA PEX SHALL BE ACCEPTABLE AS WATER PIPING MATERIALS DEPENDING ON PROJECT REQUIREMENTS. WATER STUB OUTS SHALL BE COPPER.
 - SOIL, WASTE & VENT PIPING TO BE PVC. #40 DWV. IF CEILING SPACE BELOW IS A COMMON PLENUM PVC MUST BE WRAPPED WITH UL LISTED FIRE WRAP OR CAST IRON SHALL BE USED.
 - HOT AND HOT WATER RETURN LINES SHALL BE INSULATED WITH 1/2" TO 1" THICK ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER 2010 FBC - ENERGY CONSERVATION CODE, CHAPTER 5 AND TABLE 503.2.8.
 - WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
 - ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/OR FLOORS SHALL BE PROVIDED WITH UL APPROVED FIRE RATED ASSEMBLY. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS).
 - NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
 - CONDENSATE LINES TO BE COPPER/PVC DEPENDING ON PROJECT REQUIREMENTS. INSULATE WITH 1/2" THICK ARMAFLEX INSULATION.
 - FEDERAL LAW MANDATES AS OF JANUARY 4, 2014 THE WETTED SURFACE OF EVERY PIPE, FIXTURE AND FITTING INSTALLED IN POTABLE WATER APPLICATIONS SHALL NOT CONTAIN MORE THAN 0.25% LEAD BY WEIGHT. SOLDER AND FLUX SHALL NOT CONTAIN MORE THAN 0.2% LEAD. NON-COMPLIANCE MAY RESULT IN FINES, INSTALLED PRODUCT REMOVAL COSTS, LAWSUITS BY PRIVATE PARTIES OR GOVERNMENT AGENCY.
 - SUBCONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
 - SUBCONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
 - SUBCONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.



NOTES:

TOTAL DEVELOPED GAS PIPE LENGTH FROM REGULATOR AND FURTHER APPLIANCE = 41'

REQUIRES A 2" GAS LINE PER TABLE 402.4(2) - UTILITY GAS (F.B.C. FUEL GAS 2020) SCHEDULE 40 METALLIC PIPE
INLET PRESSURE: 0.5
PRESSURE DROP: 0.5" WC
SPECIFIC GRAVITY: 0.60

GAS VALVES TO BE READY ACCESSIBLE

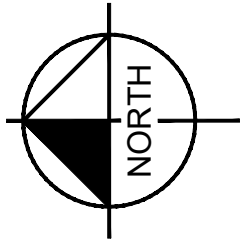
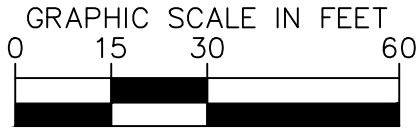
GAS CONTRACTOR TO VERIFY ALL THE EQUIPMENT SPECIFICATIONS PRIOR OF INSTALLATION AND TO NOTIFY ENGINEER OF ANY DISCREPANCIES.

GAS RISER N.T.S.

NOTE: GAS TO BE UNDER SEPARATE PERMIT

PLUMBING PLAN

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E-ONE HP100 Aerial
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

40.000ft
8.333ft
11.000ft
1.393ft
8.333ft
6.00s
45.00°

LU: LOW DENSITY
RESIDENTIAL
Z: R-1 SINGLE
FAMILY DWELLING
DISTRICT

C-17 CANAL

LU: COMMERCIAL WITH
NORTHLAKE BI OVERLAY
ZONE
Z: C-NB NORTHLAKE BI
COMMERCIAL DISTRICT
LOT 15

LU: COMMERCIAL WITH
NORTHLAKE BI OVERLAY
ZONE
Z: C-NB NORTHLAKE BI
COMMERCIAL DISTRICT
LOT 17

VILLAGE OF
NORTH PALM BEACH
DEC 20 2023
COMMUNITY DEVELOPMENT
RECEIVED

LU: COMMERCIAL
(TOWN OF LAKE PARK)
Z: C-1 BUSINESS

SUSHI JO
PREPARED FOR
CLIENT

FIRETRUCK
AUTOTURN

KHA PROJECT
123456789
DATE
OCT 2023
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY
DATE: OCT 2023

Kimley»Horn

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477 S ROSEMARY AVE. SUITE 215, WEST PALM BEACH, FL 33401
PHONE: 561-845-0665 FAX: 561-863-8175
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SHEET NUMBER
T-01

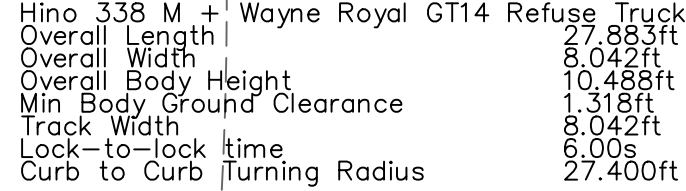
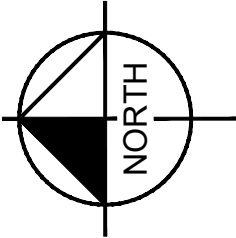
NORTH PALM BEACH

FL

REVISIONS

DATE

BY



SHEET NUMBER		T-02	
SUSHI JO PREPARED FOR CLIENT		NORTH PALM BEACH FL	
GARBAGE TRUCK AUTOTURN		KHA PROJECT 123456789 DATE OCT 2023 SCALE AS SHOWN DESIGNED BY NDB DRAWN BY NDB CHECKED BY ABK DATE OCT 2023	
LICENSED PROFESSIONAL		ADAM B. KERR FL LICENSE NUMBER 64773	
Kimley»»Horn		© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 477 S ROSEMARY AVE. SUITE 215, WEST PALM BEACH, FL 33401 PHONE: 561-845-0665 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106	
No.		REVISIONS	
DATE		BY	

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LU: COMMERCIAL
(TOWN OF LAKE PARK)
Z: C-1 BUSINESS

SUSHI JO PREPARED FOR CLIENT	AEV BODY, MOD MED DUTY	KHA PROJECT 123456789 DATE OCT 2023 SCALE AS SHOWN DESIGNED BY NDB DRAWN BY NDB CHECKED BY ABK DATE: OCT 2023	LISCENSED PROFESSIONAL ADAM B. KERR FL LICENSE NUMBER 64773	Kimley»Horn © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 477 S ROSEMARY AVE. SUITE 215, WEST PALM BEACH, FL 33401 PHONE: 561-845-0665 FAX: 561-863-875 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106	No.	REVISIONS	DATE	BY

VILLAGE OF NORTH PALM BEACH
VILLAGE ATTORNEY'S OFFICE

TO: Members of the Planning, Zoning and Adjustment Board

FROM: Caryn Gardner-Young, Community Development Director

CC: Leonard G. Rubin, Village Attorney

DATE: January 2, 2023

SUBJECT: **Ordinance Amendment to R-1 Zoning Regulations** for two-story single-family dwellings re-adopt portions of Ordinance No. 2022-18 due to the inapplicability of Senate Bill 250 to Palm Beach County

Background:

On October 27, 2022, the Village Council adopted Ordinance No. 2022-18, which included the recommendations of the Ad Hoc Committee (and this Board). The new regulations address the volume and massing of two-story single-family dwellings. These regulations are summarized as follows:

- Increasing the second-story front yard setback to 30 feet;
- Increasing the second-story rear yard setback to 25 feet;
- Increasing the second-story side yard setback to 15 feet;
- Requiring building wall articulation on all walls with an unbroken plane over 15 feet in height and 30 feet in length in the form of a wall perpendicular to the property line at a minimum distance of 2 feet and extending parallel to the property line at a minimum of 10 feet; and
- Limiting the floor area of the second story to 75% of the floor area of the first story.

Through the enactment of Section 14 of Chapter 2023-304, Florida Statutes (Senate Bill 250), the Florida Legislature prohibited the Village from proposing any amendments to its land development regulations that are more restrictive or burdensome. This law has been in effect since September 28, 2022, and any such amendments that violate this law would be considered *void ab initio*, meaning they will have no effect from the date of adoption.

The Village Staff made the Village Council aware of the impact of Senate Bill 250. After discussing the matter, the Village Council acknowledged that the provisions mentioned in the Bill were preempted. However, they directed the Staff to issue a guidance statement encouraging property owners to use the previous regulations as guidelines while constructing or significantly altering two-story single-family dwellings. The Village Council also stated that they intend to re-adopt the regulations upon the expiration of the preemption provision of Senate Bill 250 on October 1, 2024. The regulations were repealed on October 12, 2023, by Ordinance 2023-17.

However, a bill was introduced and adopted during the most recent Special Session of the State Legislature, which exempts Palm Beach County from the effects of Senate Bill 250. As a result, the Village Council can now re-adopt the previously repealed regulations.

Discussion:

The Village Staff has been implementing the volume and massing regulations for two-story single-family dwellings since its adoption in October 2022. During the review of building permits since 2022, some implementation issues arose which the Village Staff would like to correct. Therefore, Village Staff is recommending readopting the massing and volume provisions but with some modifications.

First, the building articulation provision can be difficult to understand or explain, and Village Staff has received consistent questions about it. Therefore, the Village Staff recommends deleting it. Building articulation refers to the process of stepping and recessing external walls of a building to add scale and visual interest. However, the Village Staff believes this design feature is already being addressed in the code. The existing yard space regulations require a further setback for second stories, which can divide the building wall into smaller parts. Additionally, under the current regulations, 75% of the second floor cannot exceed the first story's floor area, reducing large, expansive blank walls.

Next, the staff is recommending adding additional language regarding blank walls. The proposed language is intended to prevent long, monotonous walls. The language will mandate that four (4) elements must be incorporated onto a blank wall to create visual appeal and add diversity to the community. These elements include varied materials (masonry or concrete), projecting cornices or canopies, decorative tile or medallions, vertical articulation or recesses, lighting fixtures, or artwork.

Finally, we recommend expanding the instances where the second-story setback exemption does not apply to the rear property line. The regulations state that the second-story setback for the backyard does not apply if any part of the rear lot line borders a waterway. However, the Village Staff believes this exception should also extend to other open areas, such as golf courses (excluding vacant lots).

Recommendation:

The Village Staff requests that the Planning, Zoning and Adjustment Board review and recommend adoption of the proposed Ordinance amending the Village's Zoning Code to readopt the provisions relating to massing two-story single-family dwellings preempted by Senate Bill 250, but with some modifications.

ORDINANCE NO. 2024-__

AN ORDINANCE OF THE VILLAGE COUNCIL OF THE VILLAGE OF NORTH PALM BEACH, FLORIDA, AMENDING APPENDIX C (CHAPTER 45), "ZONING," OF THE VILLAGE CODE OF ORDINANCES TO READOPT CERTAIN REGULATIONS RELATING TO THE VOLUME AND MASSING OF SINGLE-FAMILY DWELLINGS; AMENDING SECTION 45-27, "R-1 SINGLE-FAMILY DWELLING DISTRICT," TO REQUIRE ADDITIONAL SETBACKS FOR SECOND STORIES, LIMIT THE FLOOR AREA OF THE SECOND STORY, AND PROHIBIT BLANK WALLS; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICTS; PROVIDING FOR AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

WHEREAS, through the adoption of Ordinance No. 2022-18 on October 27, 2022, the Village Council implemented the recommendations of the Ad Hoc Committee and adopted new regulations to address the volume and massing of two-story single-family dwellings, including additional second-story setbacks, building wall articulation requirements, and a limitation on the floor area of the second story; and

WHEREAS, through the enactment of Section 14 of Chapter 2023-304, Laws of Florida (Senate Bill 250), the Florida Legislature prohibited the Village from proposing or adopting more restrictive or burdensome amendments to its land development regulations retroactive to September 28, 2022 and declared any such amendments void ab initio; and

WHEREAS, through the adoption of Ordinance No. 2023-17 on October 12, 2023, the Village Council formally recognized the statutory preemption, repealed the new regulations, and adopted a guidance statement encouraging voluntary compliance; and

WHEREAS, through the enactment of Chapter 2023-349, Laws of Florida (House Bill 1C), the Florida Legislature amended Section 14 of Chapter 2023-14 to remove Palm Beach County from the prohibition against proposing or adopting more restrictive or burdensome amendments to its land development regulations; and

WHEREAS, due to the removal of the statutory preemption, the Village Council wishes to formally readopt the regulations relating to the volume and massing of two-story single-family dwellings with certain modifications; and

WHEREAS, on January 2, 2024, the Planning, Zoning and Adjustment Board, sitting as the Local Planning Agency, conducted a public hearing to review this Ordinance and provided a recommendation to the Village Council; and

WHEREAS, having considered the recommendation of the Planning, Zoning and Adjustment Board and conducted all required advertised public hearings, the Village Council determines that the adoption of this Ordinance is in the interests of the health, safety, and welfare of the residents of the Village of North Palm Beach.

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE COUNCIL OF THE VILLAGE OF NORTH PALM BEACH, FLORIDA as follows:

1 Section 1. The foregoing recitals are ratified as true and correct and are incorporated herein.

2
3 Section 2. The Village Council hereby amends Article III, "District Regulations," of Appendix
4 C (Chapter 45), "Zoning," of the Village Code of Ordinances by amending Section 45-27, "R-1
5 Single-Family District," to read as follows (additional language is underlined and deleted language is
6 ~~stricken through~~):

7
8 **Sec. 45-27. R-1 single-family dwelling district.**

9
10 A. *Uses permitted.* Within any R-1 single-family dwelling district no
11 building, structure, land or water shall be used except for one (1) or
12 more of the following uses:

- 13
14 1. Single-family dwellings with accessory buildings customarily
15 incident thereto, subject to each of the requirements set forth in
16 this section and throughout this chapter.
- 17
18 2. Public schools.
- 19
20 3. Parks and recreation facilities owned or leased by or operated
21 under the supervision of the Village of North Palm Beach.
- 22
23 4. Detached fence storage areas.
- 24
25 5. Satellite dish antenna.
- 26
27 6. Community residential homes. Community residential homes
28 of six (6) or fewer residents which otherwise meet the definition
29 of a community residential home, provided that such homes
30 shall not be located within a radius of one thousand (1,000) feet
31 of another existing such home with six (6) or fewer residents.
- 32
33 7. Family day care home.
- 34
35 8. Lamp post.
- 36
37 9. Decorative post structure.

38
39 B. *Building height regulations.* All single-family dwellings shall be
40 limited to two (2) stories and thirty feet (30') in height. For the purposes
41 of this subsection, height shall be measured from the average elevation
42 of the existing grade prior to land alteration for properties outside of
43 special flood hazard areas and from the required design flood elevation
44 for properties within special flood hazard areas. Height shall be
45 measured to the highest point of the following:

- 46
47 1. the coping of a flat roof and the deck lines on a mansard roof;
- 48

2. the average height level between the eaves and roof ridges or peak for gable, hip or gambrel roofs; or
3. the average height between high and low points for a shed roof.

Decorative architectural elements, chimneys, mechanical equipment, non-habitable cupolas, elevator shafts or similar appurtenances shall be excluded from the foregoing height restrictions. Rooftops shall not be used for pools, decks, or other spaces to congregate.

C. *Building site area regulations.* The minimum lot or building site area for each single-family dwelling shall be seven thousand five hundred (7,500) square feet and have a width of not less than seventy-five (75) feet, measured at the building line.

D. *Yard space regulations.*

1. *Front yard.* There shall be a front yard of not less than twenty-five (25) feet for the first story and thirty (30) feet for the second story measured from the street line to the front building line.

2. *Rear yard.* There shall be a rear yard of not less than twenty (20) feet for the first story and twenty-five (25) feet for the second story measured from the rear building line to the rear lot line.

3. *Side yards.* There shall be a side yard on each side of the side building line of not less than ten (10) feet for the first story and fifteen (15) feet for the second story. In the case of corner lots, no building and no addition to any building shall be erected or placed nearer than twenty (20) feet to the side street line of any such lot.

- (a) For a distance of one block on streets intersecting U.S. #1, measured from the right-of-way line of said U.S. #1, side yards of at least twenty-five (25) feet in depth shall be provided.

4. *Applicability of second story setback.* The second story setback shall apply only to the roofed portion of the second story of a two-story, single-family dwelling and shall not apply to non-roofed second story patios or balconies. The second story setback for the rear yard shall not apply if any portion of the rear lot line abuts a waterway, golf course, or other parcel dedicated in perpetuity to recreation or open space.

E. *Wall treatment.* Exterior walls shall be constructed so that each wall contains features creating visual interest. Each exterior wall shall incorporate at least four (4) of the following features:

1. Masonry (but not flat concrete block).
2. Concrete or masonry plinth at wall base.
3. Belt courses of a different texture and color.
4. Projecting cornice.
5. Projecting metal canopy.
6. Decorative tile work.
7. Trellis containing plantings.
8. Medallions.
9. Opaque or translucent glass windows.
10. Artwork such as sculptures, murals, inlays, mosaics, or other elements integrated with the structure.
11. Vertical articulation.
12. Lighting fixtures.
13. Recesses.
14. An architectural element or feature not listed above, as approved by the village, that meets the intent of this section.

Figure 1 Building Wall Articulation (Figure Deleted)

F. Second-story floor area. The floor area of the second story of a single-family dwelling shall not exceed seventy-five percent (75%) of the floor area of the first story. For the purpose of this subsection, floor area shall include all areas lying within the building perimeter established by the interior side of the exterior walls of the building, including garages, covered patios, and other open-air exterior areas that are under roof. The floor area for the second story shall include areas open to below.

E. ~~Guidance on volume and massing of single family dwellings.~~ Due to the legislature's enactment of Chapter 2023-304, Laws of Florida (Senate Bill No. 250), the village was required to repeal recently adopted regulations relating to the volume and massing of single-family dwellings. However, to preserve the character of the village's existing single-family neighborhoods, the village encourages the use of

1 the following guidelines when constructing or substantially altering
2 single-family dwellings:
3

- 4 1. ~~Second story setbacks should be five (5) feet greater than the~~
5 ~~required first story setbacks. These enhanced setbacks should~~
6 ~~apply to the roofed portion of the second story of a two-story,~~
7 ~~single family dwelling.~~
- 8
9 2. ~~Building wall articulation should be provided on all walls with~~
10 ~~an unbroken plan in excess of fifteen (15) feet in height and~~
11 ~~thirty (30) feet in length. The articulation should be in the form~~
12 ~~of a wall perpendicular to the property line at a minimum~~
13 ~~distance of two (2) feet, extending parallel to the property line~~
14 ~~a minimum of ten (10) feet, and should extend evenly over the~~
15 ~~entire height of the building wall (see Figure 1 above).~~
- 16
17 3. ~~The second story of a single family dwelling should not exceed~~
18 ~~seventy five percent (75%) of the floor area of the first story.~~
19 ~~Floor area includes all areas lying within the building perimeter~~
20 ~~established by the interior side of the exterior walls of the~~
21 ~~building, including garages, covered patios and open air~~
22 ~~exterior areas under roof. The floor area of the second story~~
23 ~~should include areas open to below.~~

24
25 The village council intends to readopt these regulations as of October
26 1, 2024.
27

28 G F. *Off street parking regulations.* At least one parking space measuring at
29 least nine (9) feet by eighteen (18) feet (one hundred sixty-two (162)
30 square feet) shall be provided. All parking spaces shall consist of a
31 durable surfaced area as approved by the community development
32 director, and may be enclosed in the dwelling, in an accessory building
33 or in an unenclosed area or a driveway. All vehicles parking on a lot
34 must be parked on a durable surface.
35

36 H G. *Accessory structures.* One detached automobile garage and one open-
37 air pavilion may be constructed on any lot within the R-1 single-family
38 dwelling district provided that all requirements of this chapter are met.
39 Open air pavilions shall be subject to the following additional
40 conditions and restrictions:
41

- 42 1. *Permitting.*
 - 43
44 (a) All open-air pavilions must be permitted in accordance
45 with all Florida Building Code and Village Code
46 requirements.
 - 47
48 (b) Open-air pavilions meeting the definition of a
49 traditional chickee hut are exempt from the Florida

Building Code but shall be subject to consistency review by the village. Consistency shall be demonstrated through the issuance of a zoning permit and shall require the submittal of the following information:

- (1) A survey that includes scaled dimensions of the proposed structure, including setbacks;
- (2) Proof that the builder of the chickee hut is a member of either the Miccosukee Tribe of Indians of Florida or the Seminole Tribe of Florida (such proof consisting of a copy of the tribal member's identification card); and
- (3) Drawings of the proposed structure depicting, at a minimum, the overall design, dimensions, roof materials, and height.

2. *Dimensions.* Open-air pavilions shall not exceed two hundred (200) square feet in floor area. The floor area shall be measured from outside the support posts, provided that the roof overhang does not exceed three (3) feet from the support posts. If the roof overhang exceeds three (3) feet, the floor area shall consist of the entire roofed area. For structures supported by a single-pole, i.e., umbrella shape, the floor area shall be measured from the drip line of the roof material.

3. *Height.* Open-air pavilions shall not exceed twelve (12) feet in height or the height of the principal building located on the lot, whichever is more restrictive. For sloped roofs, the height shall be measured at the mean roof height.

4. *Location and Setbacks.*

- (a) No open-air pavilion may be erected within ten (10) feet of the side property line. This side setback shall be increased to twenty (20) feet for corner lots.
- (b) No open-air pavilion may be erected within seven and one-half (7½) feet of the rear property line.
- (c) No open-air pavilion or any portion thereof may be erected between the front line of the principal building and the front property lot line, within a utility or drainage easement, or within a required landscape buffer.

5. *Use restrictions.*

(a) An open-air pavilion shall be used only for private recreational activities as an accessory use to the principal residential use and shall not be used for habitation, for a tool room, storage room or workshop, or for any commercial purpose whatsoever.

(b) Open-air pavilions shall not be used for storage of items of personal property, including, but not limited to, the following:

(1) Operable or inoperable vehicles, boats, boat trailers, utility trailers or similar items of personal property;

(2) Building materials, lawn equipment, tools or similar items; and

(3) Ice boxes, refrigerators and other types of food storage facilities with the exception of under-counter units.

(c) No gas, charcoal or propane grills, stoves or other types of cooking devices may be stored or utilized within a traditional chickee hut.

6. *Maintenance.* Open-air pavilions shall be maintained in good repair and in sound structural condition. Painted or stained surfaces shall be free of peeling paint, mold and mildew and void of any evidence of deterioration.

7. *Design.*

(a) Open-air pavilions, with the exception of traditional chickee huts, pergolas and other structures with only partial or slatted roofs, shall incorporate the same types of building materials and be consistent with the architectural theme or style of the main or principal building.

(b) At the request of a property owner, the community development director may approve the use of different building materials or alternate architectural themes or styles when such materials, themes or styles are complementary to the main or principal building.

(c) Should the community development director deny the request for different building materials or alternate architectural themes or styles, a property owner may

1 appeal this decision to the planning commission by
2 submitting a written request for a hearing to the
3 community development director within thirty (30)
4 calendar days of the date of the determination. The
5 appeal shall be placed on the next available agenda and
6 the decision of the planning commission shall be final,
7 subject only to judicial review by writ of certiorari.
8

9 I H. *Mechanical equipment.* All non-roof-mounted mechanical equipment
10 shall be located behind the front building face of the principal structure
11 in either the side yard or the rear yard. Such equipment shall be located
12 adjacent to the principal structure whenever practicable, provided,
13 however, that all mechanical equipment shall be located at least five
14 (5) feet from the side property line and at least seven and one-half feet
15 (7½) from the rear property line.
16

17 J I. *Minimum landscaped area.*
18

- 19 1. All single-family dwellings shall have a minimum landscaped
20 area of thirty percent (30%).
21
- 22 2. All single-family dwellings (both one and two story) shall
23 provide a minimum landscaped area of fifty percent (50%) in
24 the required twenty-five-foot (25') front yard setback.
25 Properties with frontage along urban collector roads
26 (Lighthouse Drive and Prosperity Farms Road) shall provide a
27 minimum landscaped area of forty percent (40%) in the
28 required twenty-five-foot (25') front yard setback. Properties
29 having an irregular lot shape, meaning a lot which is not close
30 to rectangular or square and in which the width of the property
31 at the front property line is less than required by the underlying
32 zoning district, shall provide a minimum landscaped area of
33 twenty-five percent (25%) in the required twenty-five-foot
34 (25') front yard setback.
35
- 36 3. A property owner who meets the overall minimum landscaped
37 area requirement set forth in subsection (1) above and who does
38 not meet the minimum landscaped area requirement in the
39 twenty-five-foot (25') front yard setback set forth in subsection
40 (2) above may request a waiver of up to five percent (5%) of
41 the minimum required area by filing a request with the
42 Community Development Department. The request shall be
43 forwarded to the Planning Commission for final action. A
44 property owner seeking such a waiver shall be required to
45 demonstrate to the Planning Commission that he or she has
46 made a reasonable attempt to comply with the required
47 minimum landscaped area within the front yard setback and has
48 mitigated any deficiency through the installation of enhanced

landscaping materials, the use of permeable hardscape materials or some other acceptable means.

For the purposes of this subsection, the term minimum landscaped area shall mean a pervious landscaped area unencumbered by structures, buildings, paved parking lots, sidewalks, sports courts, pools, decks, or any impervious surface. Landscape material shall include, but not be limited to, grass, ground covers, bushes, shrubs, hedges or similar plantings, or decorative rock or bark. No landscape material shall be used for parking. However, pervious surfaces used for the parking of recreational equipment in side and rear yards shall be included in the calculation of the minimum landscaped area.

With respect to building permits for renovations of existing single-family dwellings, the minimum landscaped area standards shall apply only to the extent that the proposed scope of work impacts the applicable standard.

I J. *Maximum driveway width in swale.* The total width of driveways from the edge of the public roadway to the abutting privately-owned property shall not exceed a total of thirty-two feet (32') in width at the property line, excluding flares. For lots with ninety (90) or more feet of public roadway frontage, the total width of driveways from the edge of the public roadway to the abutting privately-owned private shall not exceed a total of forty feet (40') in width at the property line, excluding flares. Each side of a flared driveway shall be no more than three feet (3') wider than the rest of the driveway.

Section 3. The provisions of this Ordinance shall become and be made a part of the Code of the Village of North Palm Beach, Florida.

Section 4. If any section, paragraph, sentence, clause, phrase, or word of this Ordinance is for any reason held by a court of competent jurisdiction to be unconstitutional, inoperative, or void, such holding shall not affect the remainder of this Ordinance.

Section 5. All ordinances or parts of ordinances and resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

Section 6. This Ordinance shall take effect immediately upon adoption.

PLACED ON FIRST READING THIS ____ DAY OF _____, 2024.

PLACED ON SECOND, FINAL READING AND PASSED THIS ____ DAY OF _____, 2024.

(Village Seal)

MAYOR

1 ATTEST:

2
3 _____
4 VILLAGE CLERK
5

6 APPROVED AS TO FORM AND
7 LEGAL SUFFICIENCY:

8
9 _____
10 VILLAGE ATTORNEY